

WATERPROOFING ADDITIONAL SPECIFICATION

SUBSTRATE

The substrate shall be to falls & cross falls of 1:80 to outlets. If no falls and cross falls exist, a dual layer system must be used. The substrate shall be surface dry, clean & smooth; free of voids, protrusions and contaminants. The area is then to be primed using a bituminous primer. Internal corners shall be filleted and external corners rounded.

OUTLETS

The waterproofing is to be full dressed into the drainage outlets so as to ensure a watertight seal. Outlets are to be positioned so that they are easily accessible. Ensure that the level of the flange is kept below the screed level to prevent ponding around the outlet.

FLOOD TEST

The integrity of the waterproofing should be established by means of a flood test of 48hrs - 72hrs duration, prior to handing over to the contractor. A certificate is to be obtained from the professional team recording the date and time period of the test and that the waterproofing treatment was handed over in a clean, proper and watertight condition.

FALLS

To ensure that the roof is adequately self-draining the minimum falls shall be one in eighty on all surface=s.

GUARANTEE PERIOD

The waterproofing is to be fully guaranteed for a period of 12 months from the date of the principal contract certificate of practical completion

GENERAL NOTES

- The design of this drawing is copyright and remains the property of the architect.
- All relevant details, levels, dimensions, setting out positions are to be checked prior to any work commencing and any discrepancies are to be brought to the architects attention.
- The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.
- All dimensions are given in millimetres
- Drawings are to read in conjunction with engineers drawings
- Contractor to keep full set of drawings on site
- Contractor is responsible for the correct setting out of the building on site with particular reference to boundaries and building lines
- Contractor and Engineer to verify all levels and dimensions on site and check same against architects drawings before commencing work
- Figured dimensions to be used in preference to scaled dimensions
- Large scale details to be used where available

REFER TO DWG. D3.200 FOR SECTIONS

SPECIFICATION

PART 1: PRELIMINARY AND GENERAL

1.01 SPECIFICATION

THE SPECIFICATION COMPRISES THE FOLLOWING:

PART 1 - THIS PRELIMINARY AND GENERAL

PART 2 - GENERAL REQUIREMENTS

PART 3 - SPECIFIC REQUIREMENTS

ALL PARTS TO BE TAKEN TOGETHER TO ESTABLISH THE FULL EXTENT AND THE MEANING OF THE WHOLE.

1.02 FORM OF THE SUB-CONTRACT

THE SUCCESSFUL TENDERER WILL BE APPOINTED AS A SELECTED SUB-CONTRACTOR TO THE CONTRACTOR.

THE FORM OF SUB-CONTRACT WILL BE THE BIFSA NON-NOMINATED JBCC FORM, LATEST EDITION.

1.03 PRICE ADJUSTMENT / PRICE MAKE-UP

THE WORK CONTAINED IN THIS SUB-CONTRACT SHALL BE ADJUSTED FOR HAYLETT/CPAP SUBJECT ONLY TO THE VARIATIONS TO THE WORK DOCUMENTED BY OFFICIALLY ISSUED ARCHITECTS INSTRUCTIONS.

THE SUB-CONTRACTOR SHALL DISCLOSE AN ANALYSIS OF HIS TENDER MAKE-UP TO THE ARCHITECT WITHIN 2 WEEKS OF HIS APPOINTMENT.

1.04 DESIGN AND INDEMNITY

THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETAILED DESIGN OF HIS WORK, INCLUDING THE SELECTION OF HIS OWN MATERIALS.

THE TENDERER SHALL COMPLETE AND RETURN TO THE ARCHITECT, WITH HIS TENDER, TWO COPIES OF THE COMPLETED FORM OF INDEMNITY.

1.04 COLLABORATION WITH OTHERS

THE SUB-CONTRACTOR SHALL COLLABORATE WITH OTHERS IN THE FINALISATION AND DETAILING OF HIS WORK, PARTICULARLY WHERE WORK OF THE OTHERS AFFECTS, OR IS AFFECTED BY, THE SPECIFIC DESIGN AND THE INSTALLATION REQUIREMENTS OF THE WORK IN THIS SUB-CONTRACT.

THE SUB-CONTRACTOR SHALL TAKE STEPS AS ARE NECESSARY TO COLLABORATE WITH OTHER SUB-CONTRACTORS ON SITE THAT AFFECT, OR ARE AFFECTED BY, THE WORK EMBODIED IN THE SUB-CONTRACT

1.06 INSTALLATION PROGRAMME

THE TENDERER SHALL CONSULT THE CONTRACTOR AS TO THE TIME SCHEDULE FOR THE WORK PRIOR TO SUBMITTING HIS TENDER AND SHALL TAKE INTO ACCOUNT, IN HIS TENDER, THE CONTRACTORS REQUIREMENTS IN THAT RESPECT.

1.07 AVAILABILITY OF MATERIALS

BEFORE SUBMITTING HIS TENDER THE SUB-CONTRACTOR SHALL ASCERTAIN THAT THE MATERIALS AS SPECIFIED HEREIN FOR THE WORKS ARE AVAILABLE. ANY DEFICIENCIES IN THIS RESPECT ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. FOLLOWING THE APPOINTMENT THE SUB-CONTRACTOR SHALL TIMEOUSLY ORDER ALL THE NECESSARY MATERIALS AND ARRANGE FOR THE PROCESSING OF ALL SUCH MATERIALS REQUIRED TO CARRY OUT THE SUB-CONTRACT WORKS.

THE TERM SABS IN THIS SPECIFICATION SHALL MEAN A STANDARD SPECIFICATION AND/OR CODE OF PRACTICE ISSUED BY THE SOUTH AFRICAN BUREAU OF STANDARDS.

ALL WORK SHALL CONFORM TO THE RELEVANT SABS AND MANUFACTURERS SPECIFICATIONS.

1.09 POWER

SINGLE-PHASE ELECTRICAL POWER WILL BE PROVIDED BY THE CONTRACTOR WITHIN 20 METERS OF THE SUB-CONTRACT WORK AT EACH FLOOR LEVEL. THE SUBCONTRACTOR IS TO PROVIDE HIS OWN WIRING FROM THAT LOCATION

THE SUB-CONTRACTOR IS TO INCLUDE FOR ALL THINGS NECESSARY FOR THE SATISFACTORY AND COMPLETE INSTALLATION OF ALL THE WORK

SMOOTH MONOLITHIC CONCRETE OR TROWELLED CEMENT SCREED SURFACES ARE TO BE PROVIDED FOR MEMBRANE ADHESION. SURFACES MUST BE FREE OF VOIDS, SPALLED AREAS, LOOSE AGGREGATE, AND SHARP PROTRUSIONS, WITH NO COARSE AGGREGATE VISIBLE. BROOM FINISHES MUST NOT BE USED. CONCRETE MUST BE CURED AND DRY BEFORE THE APPLICATION OF WATERPROOFING. CHECK THAT THE FORMS HAVE BEEN REMOVED AS SOON AS POSSIBLE FROM BELOW THE HORIZONTAL SLABS TO LIMIT ENTRAPMENT OF EXCESS MOISTURE.

CEMENT AND SAND FILLETS WILL BE PROVIDED BY THE PRINCIPAL CONTRACTOR OF AT LEAST 70MM IN THE SPLAY FACE DIMENSION AT 45 DEGREES TO THE ROOF SURFACE TO SUPPORT THE ROOF MEMBRANE AND AVOID SHARP ANGLES IN THE MEMBRANE.

TO ENSURE THAT THE ROOF IS ADEQUATELY SELF-DRAINING THE MINIMUM FALLS SHALL BE ONE IN EIGHTY ON ALL SURFACES.

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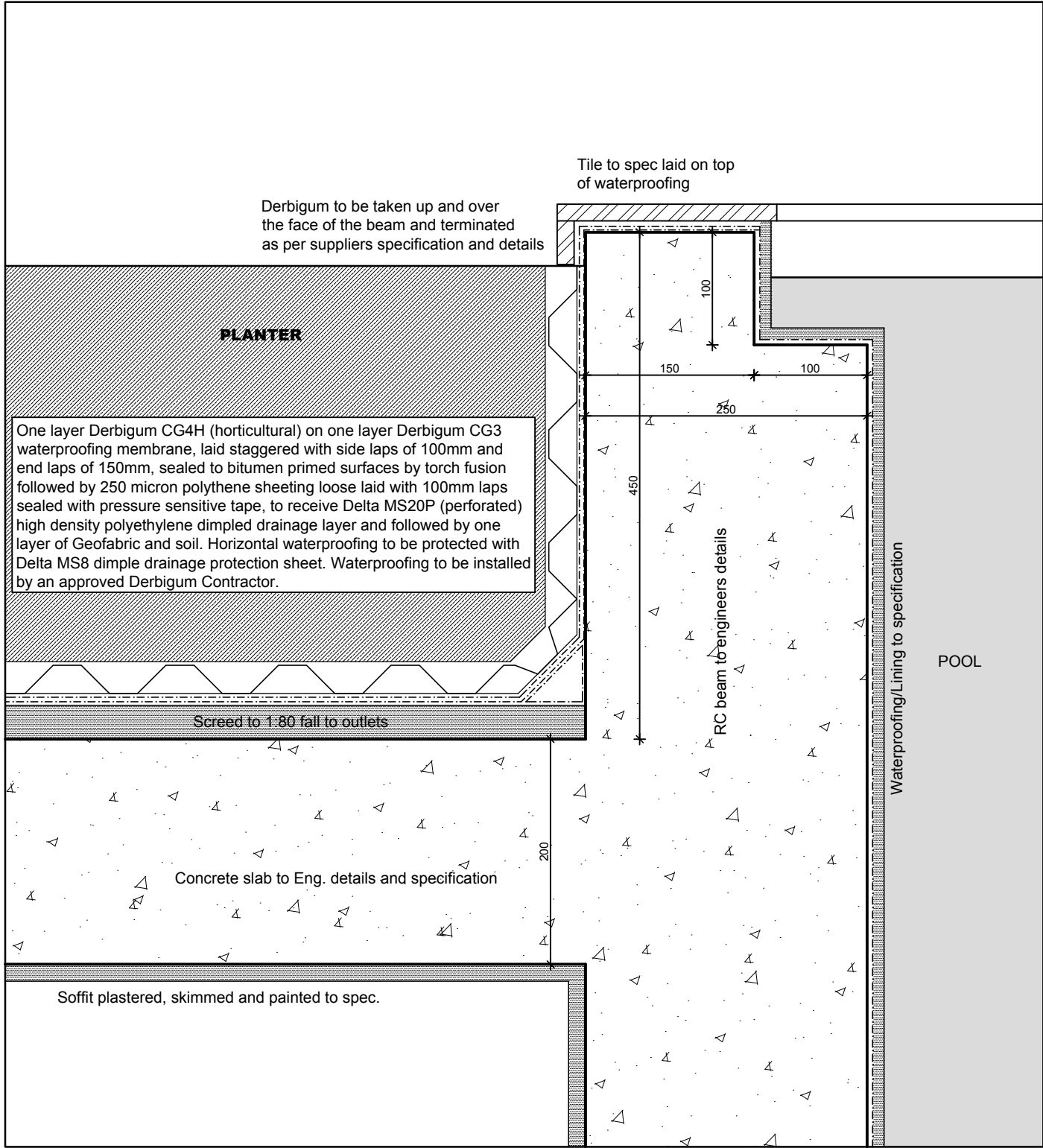
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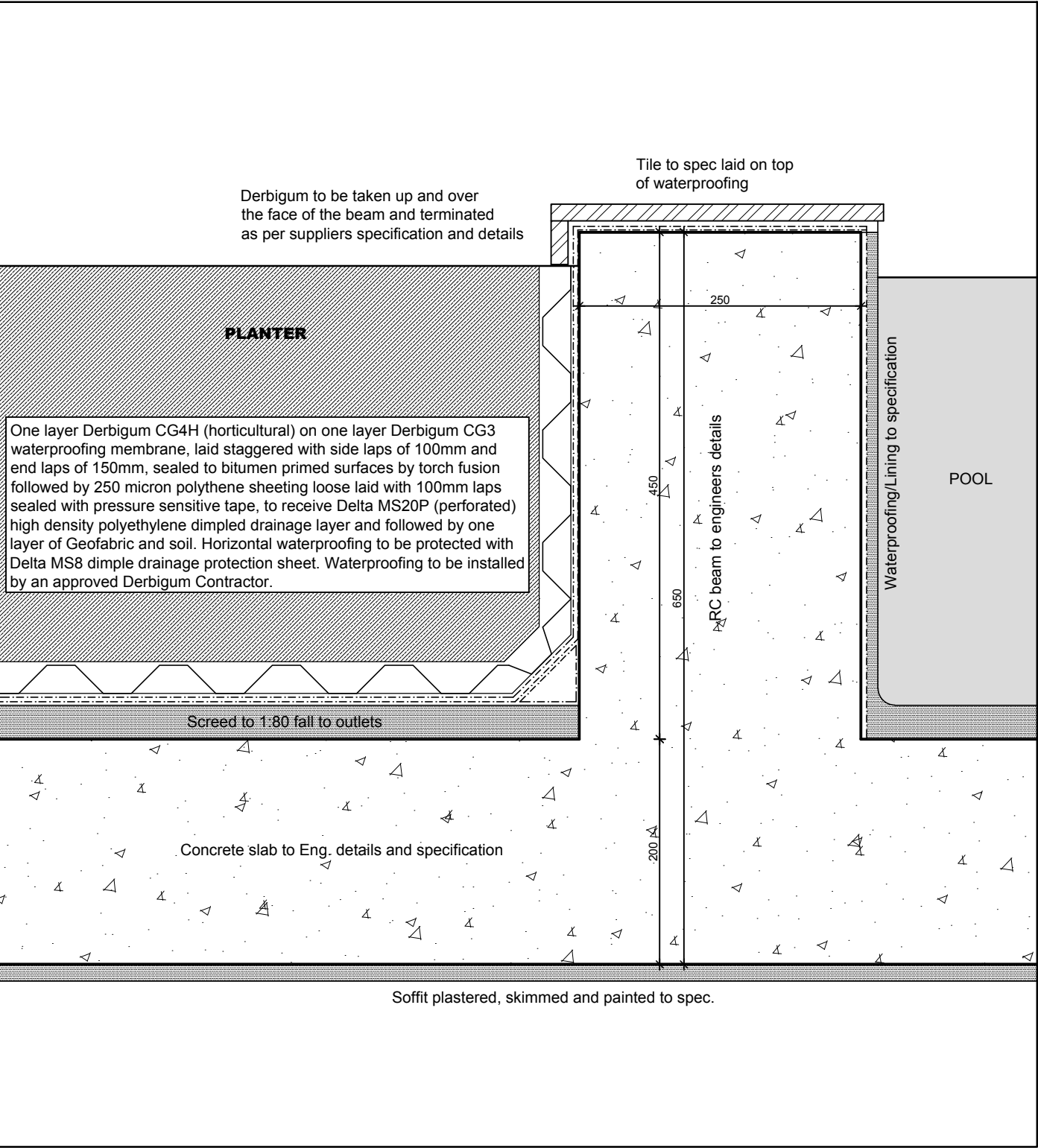
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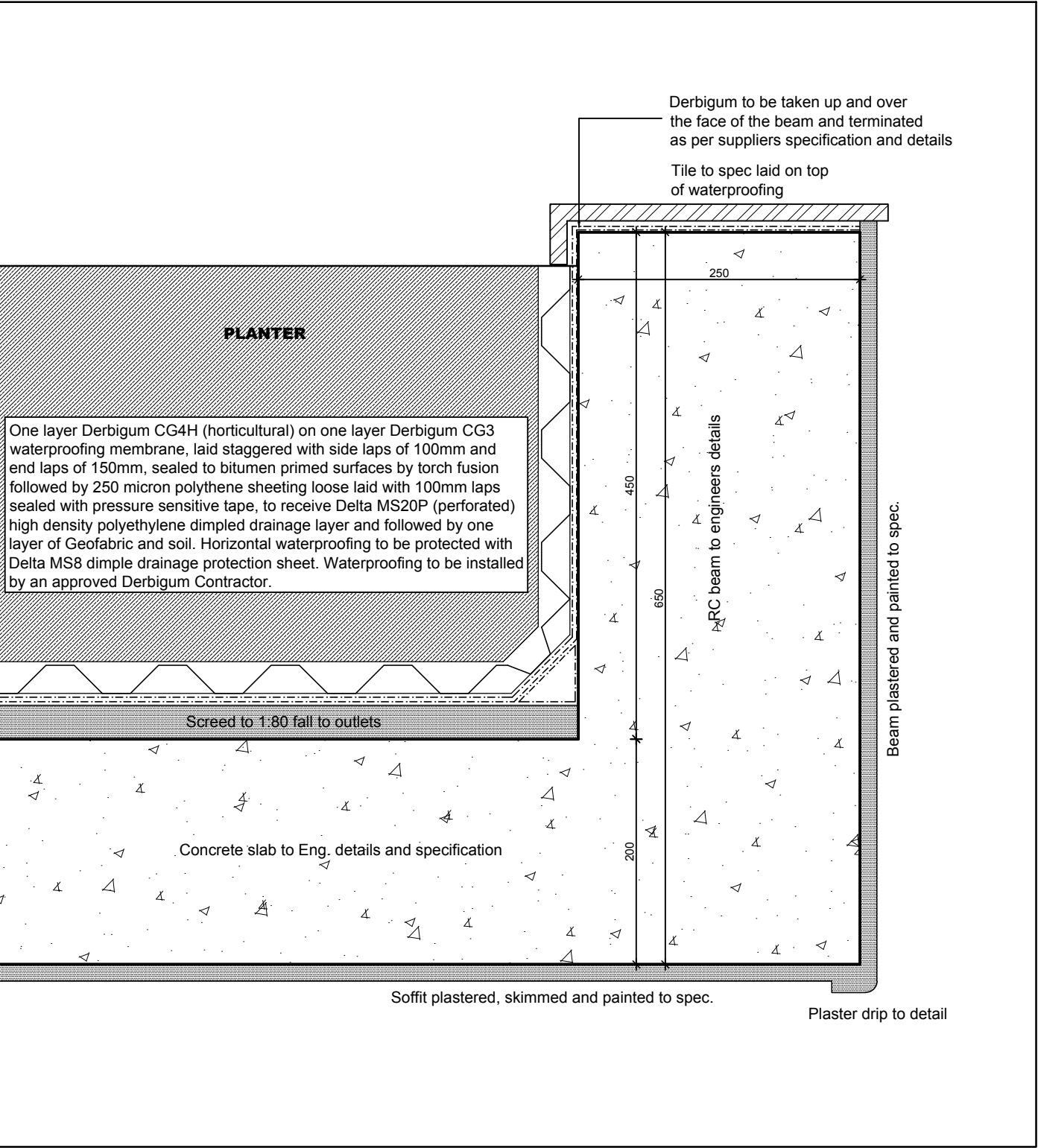
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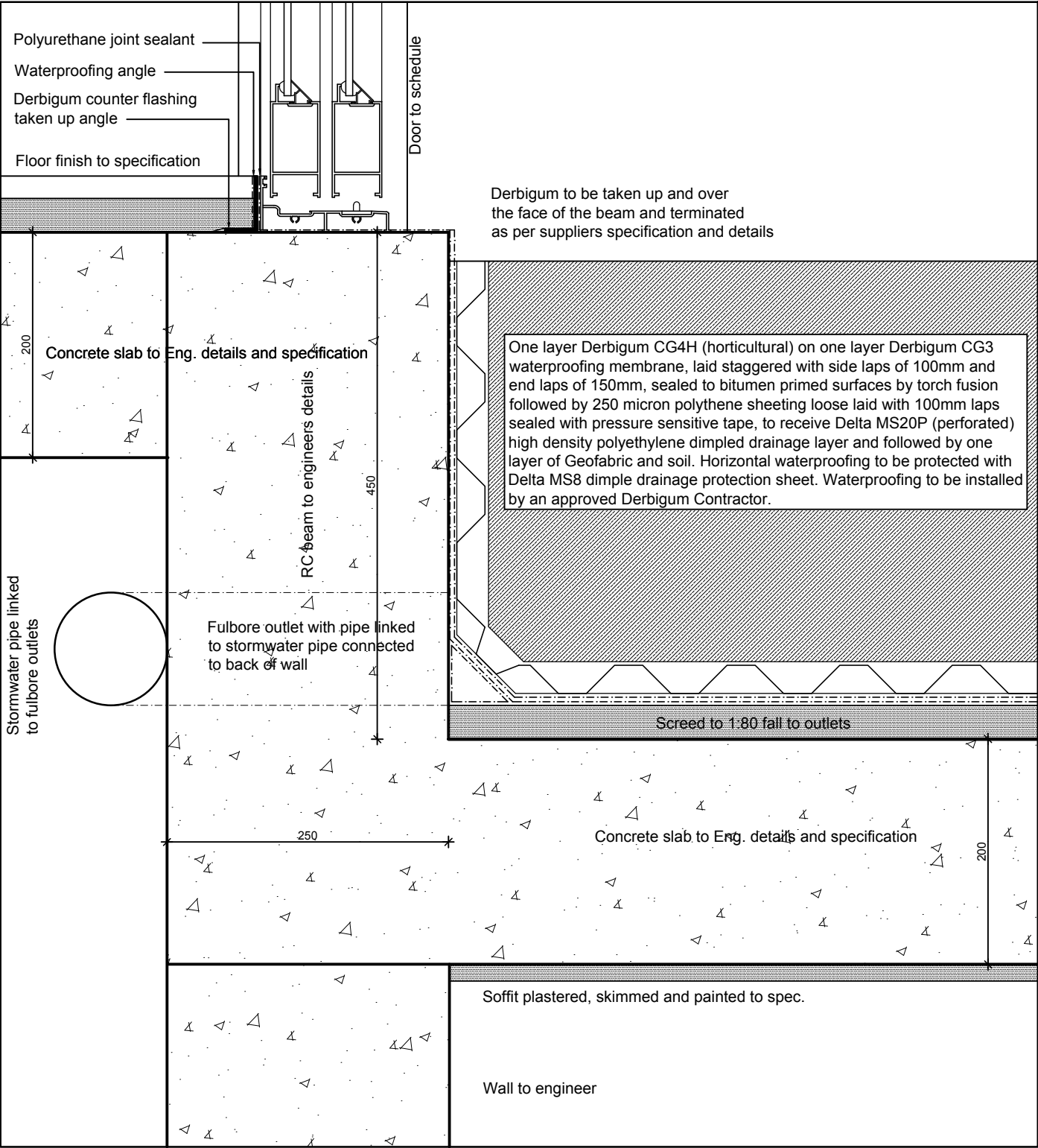
SECTION DETAIL A - A THRU PLANTER and POOL



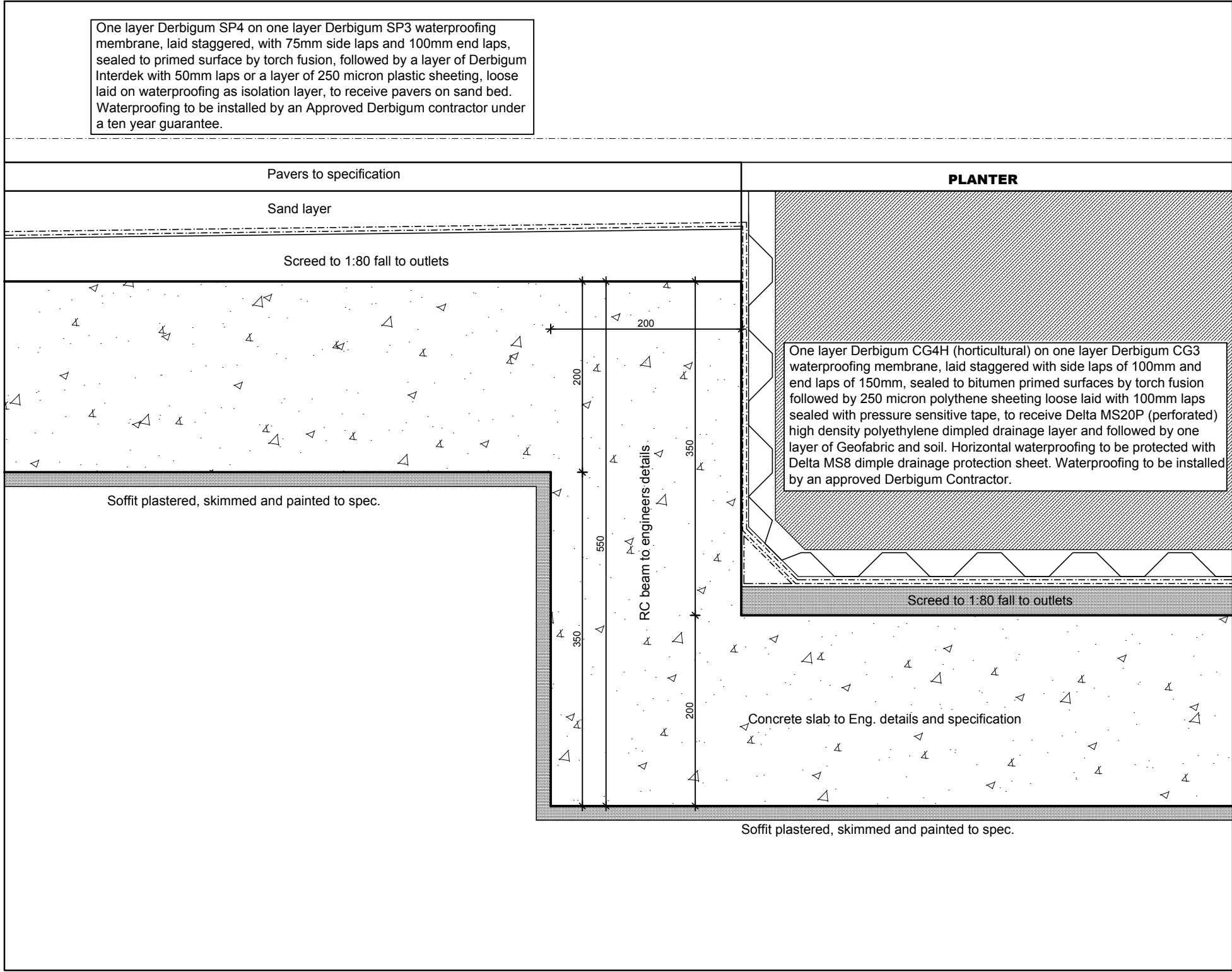
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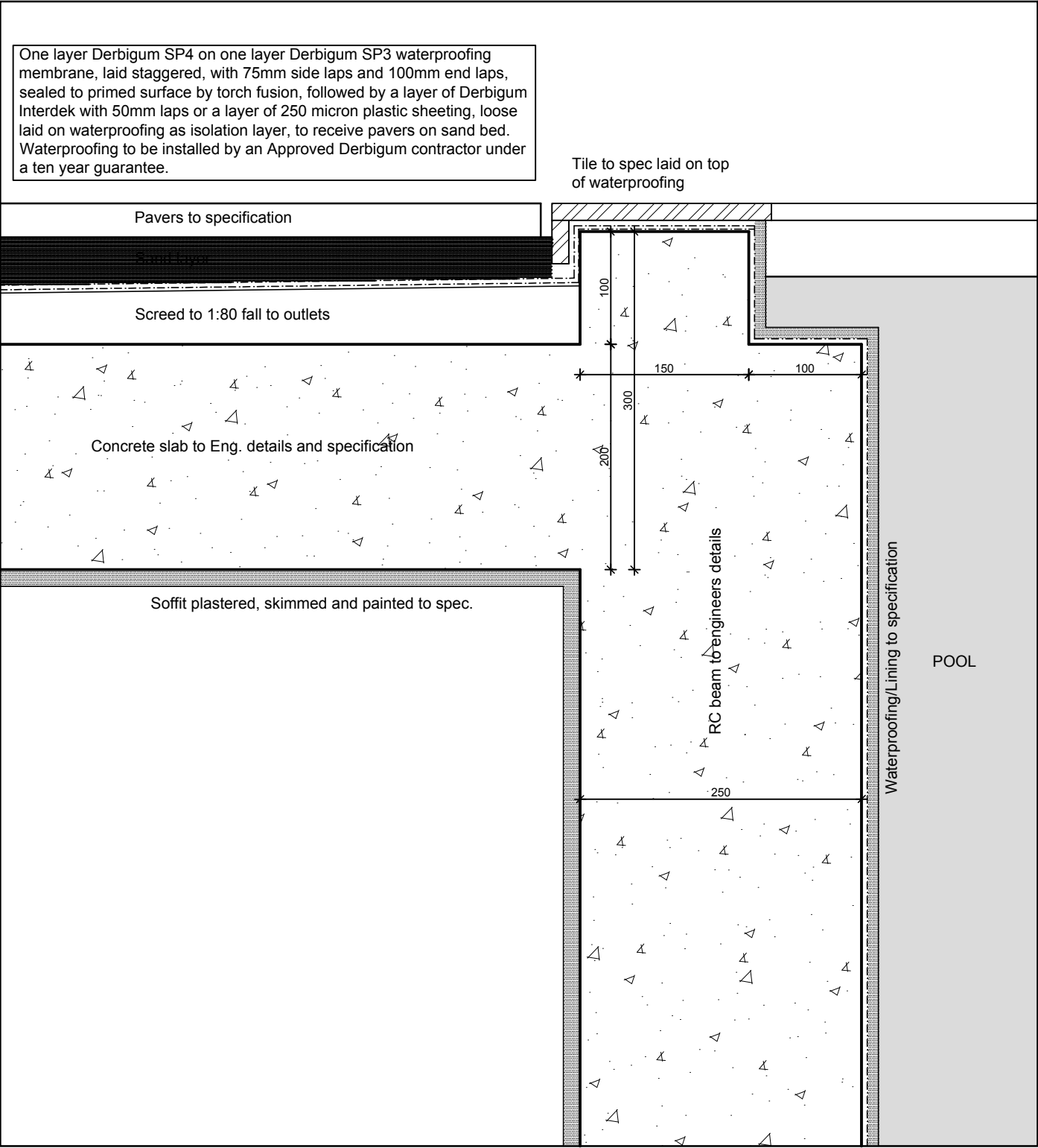
SECTION DETAIL C - C THRU PLANTER and POOL



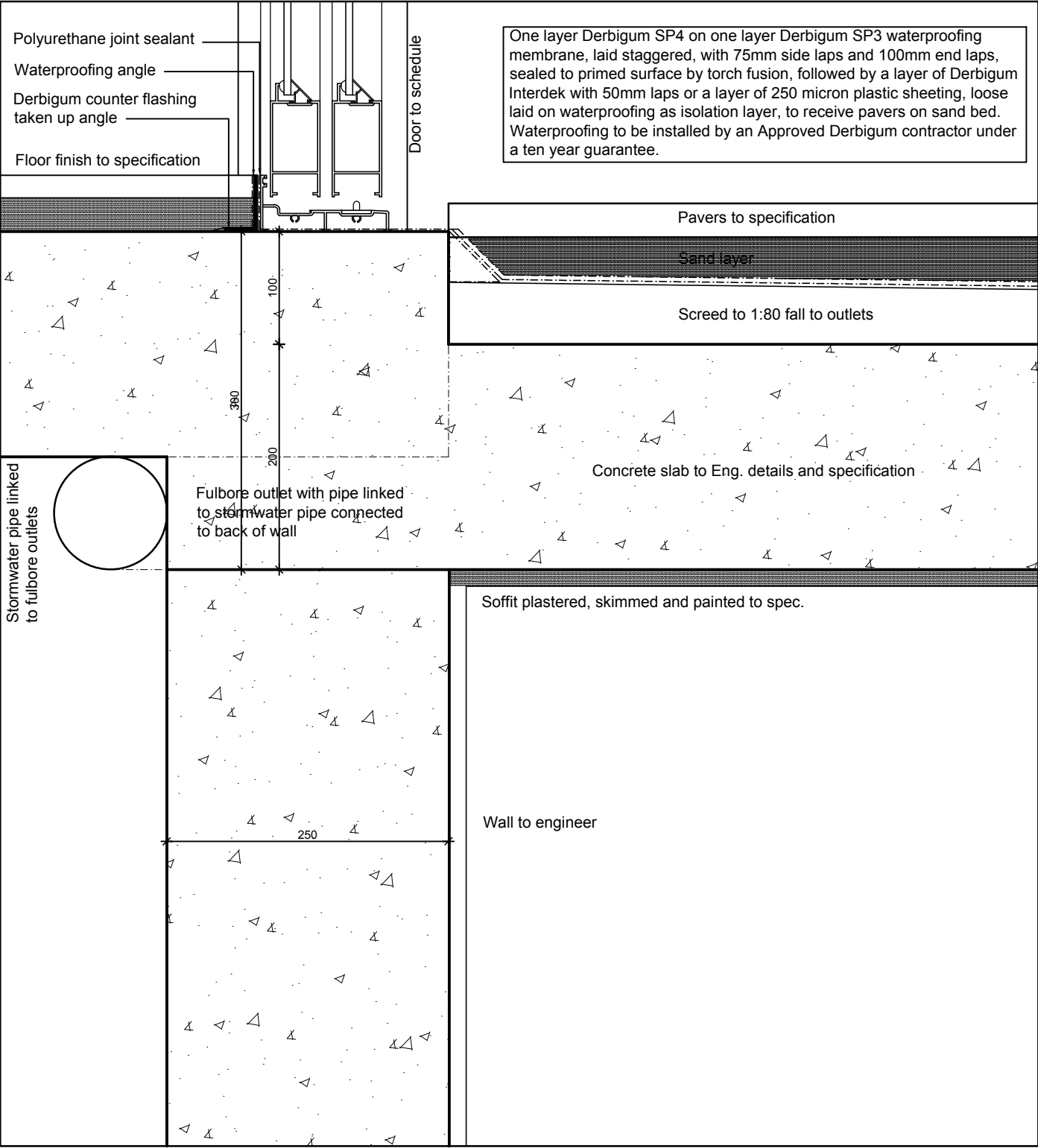
SECTION DETAIL E - E THRU PLANTER and DOOR THRESHOLD



SECTION DETAIL D - D THRU PLANTER AND TERRACE



SECTION DETAIL F - F THRU TERRACE and POOL



SECTION DETAIL G - G THRU TERRACE and DOOR THRESHOLD

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SPECIFICATION

PART 1: PRELIMINARY AND GENERAL

1.01 SPECIFICATION
THE SPECIFICATION COMPREHENDS THE FOLLOWING:
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PART 2 - GENERAL REQUIREMENTS
PART 3 - SPECIFIC REQUIREMENTS
ALL PARTS TO BE TAKEN TOGETHER TO ESTABLISH THE FULL EXTENT AND THE MEANING OF THE WHOLE.

1.02 FORM OF THE SUB-CONTRACT
THE SUCCESSFUL TENDERER WILL BE APPOINTED AS A SELECTED SUB-CONTRACTOR TO THE CONTRACTOR.
THE FORM OF SUB-CONTRACT WILL BE THE BIFSA NON-NOMINATED JBCC FORM, LATEST EDITION.
1.03 PRICE ADJUSTMENT / PRICE MAKE-UP
THE WORK CONTAINED IN THIS SUB-CONTRACT SHALL BE ADJUSTED FOR HAYLETTOPAP SUBJECT ONLY TO THE VARIATIONS TO THE WORK DOCUMENTED BY OFFICIALLY ISSUED ARCHITECTS INSTRUCTIONS.

1.04 DESIGN AND INDEMNITY
THE SUB-CONTRACTOR SHALL DISCLOSE AN ANALYSIS OF HIS TENDER MAKE-UP TO THE ARCHITECT WITHIN 2 WEEKS OF HIS APPOINTMENT.
THE TENDERER SHALL COMPLETE AND RETURN TO THE ARCHITECT, WITH HIS TENDER, TWO COPIES OF THE COMPLETED FORM OF INDEMNITY.

1.05 COLLABORATION WITH OTHERS
THE SUB-CONTRACTOR SHALL COLLABORATE WITH OTHERS IN THE FINALISATION AND DETAILING OF HIS WORK, PARTICULARLY WHERE HIS WORK IS AFFECTED BY, OR IS AFFECTED BY, THE SPECIFIC DESIGN AND THE INSTALLATION REQUIREMENTS OF THE WORK IN THIS SUB-CONTRACT. THE SUB-CONTRACTOR SHALL TAKE STEPS AS ARE NECESSARY TO COLLABORATE WITH OTHER SUB-CONTRACTORS ON SITE THAT AFFECT, OR ARE AFFECTED BY, THE WORK EMBODIED IN THE SUB-CONTRACT.

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THE TENDERER SHALL CONSULT THE CONTRACTOR AS TO THE TIME SCHEDULE FOR THE WORK PRIOR TO SUBMITTING HIS TENDER AND SHALL TAKE INTO ACCOUNT, IN HIS TENDER, THE CONTRACTOR'S REQUIREMENTS IN THAT RESPECT.

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1.08 SABS
THE TENDERER SHALL BE RESPONSIBLE FOR THE SUB-CONTRACTOR TO OBTAIN ALL NECESSARY SABS FROM THAT LOCATION.

PART 2: GENERAL REQUIREMENTS
THE SUB-CONTRACTOR IS TO INCLUDE FOR ALL THINGS NECESSARY FOR THE SATISFACTORY AND COMPLETE INSTALLATION OF ALL THE WORK.

2.01 SURFACE PREPARATION
SMOOTH WORKING CONCRETE OR TROWELLED CEMENT SCREED SURFACES ARE TO BE PROVIDED FOR MEMBRANE ADHESION. SURFACES MUST BE FREE OF VOIDS, SPALLED AREAS, LOOSE AGGREGATE, AND SHARP PROTRUSIONS. WITH NO COARSE AGGREGATE VISIBLE. BROOM FINISHES MUST NOT BE USED. CONCRETE MUST BE CURED AND DRY BEFORE THE APPLICATION OF WATERPROOFING. CHECK THAT THE FORMS HAVE BEEN REMOVED AS SOON AS POSSIBLE FROM BELOW THE HORIZONTAL SLABS TO LIMIT ENTRAPMENT OF EXCESS MOISTURE.

2.02 STANDARDS AND SKETCHES
CEMENT AND SAND FILLERS WILL BE PROVIDED BY THE PRINCIPAL CONTRACTOR OF AT LEAST 10MM IN THE SPALL FACE DIMENSION AT 40 DEGREES TO THE ROOF SURFACE TO SUPPORT THE ROOF MEMBRANE AND AVOID SHARP ANGLES IN THE MEMBRANE.

2.03 FALLS
TO ENSURE THAT THE ROOF IS ADEQUATELY SELF-DRAINING THE MINIMUM FALLS SHALL BE ONE IN EIGHTY ON ALL SURFACES.

2.04 GUARANTEE PERIOD
THE WATERPROOFING IS TO BE FULLY GUARANTEED FOR A PERIOD OF 12 MONTHS FROM DATE OF THE PRINCIPAL CONTRACT CERTIFICATE OF PRACTICAL COMPLETION.

WATERPROOFING ADDITIONAL SPECIFICATION

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OUTLETS
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FLOOD TEST
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The waterproofing is to be fully guaranteed for a period of 12 months from the date of the principal contract certificate of practical completion.

DRAWING STATUS

	DATE	SIGNATURE
FOR TENDER	07.08.17	
REGISTRATION NUMBER	7907	MICHAEL DENNETT

REVISIONS

REV.	DESCRIPTION	DATE

D V 8 architects

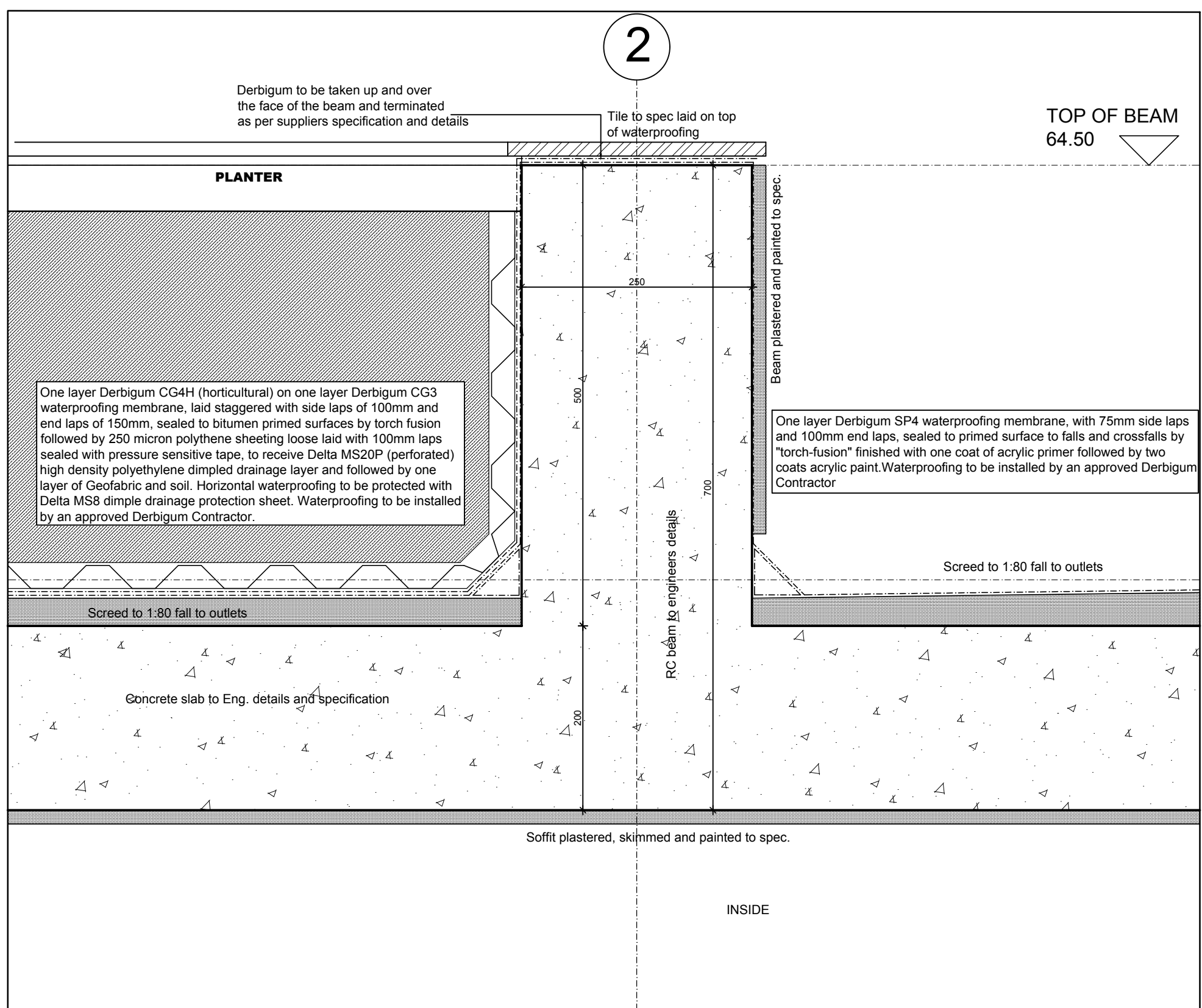
The Stockyard, Unit 8, 3 Ravenscraig Rd, Woodstock, Cape Town
021 447 1803 086 694 7450
082 485 3077 info@dv8architects.com

NEW DWELLING, ERF 2044, 38R OCEAN VIEW DRIVE, GREENPOINT

WATERPROOFING SECTIONS

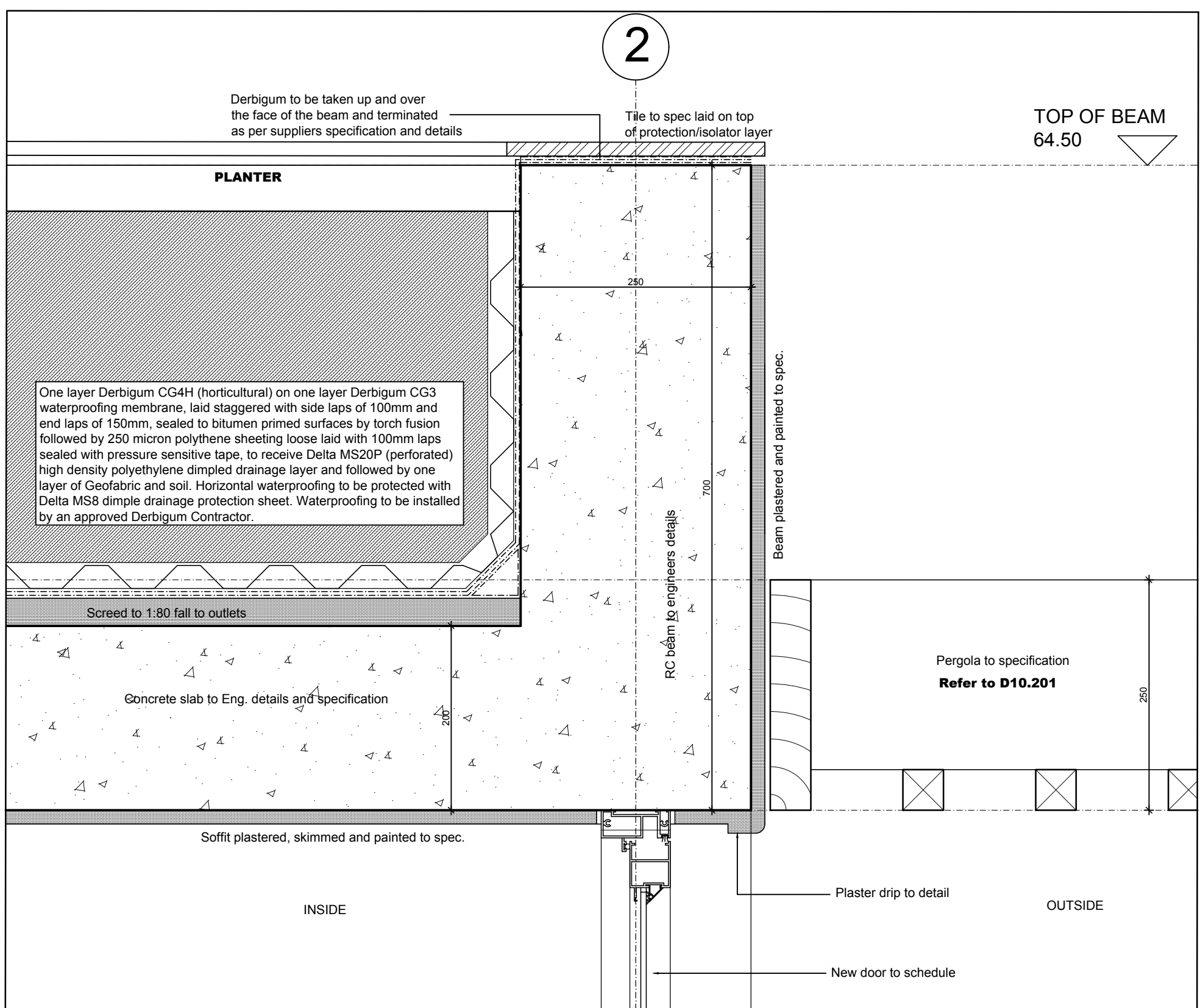
DRAWN	CHECKED	DATE
JK	Michael Dennett	01 / 08 / 17

SCALE	REVISION	DRAWING NO.
1:5	0	D3.200



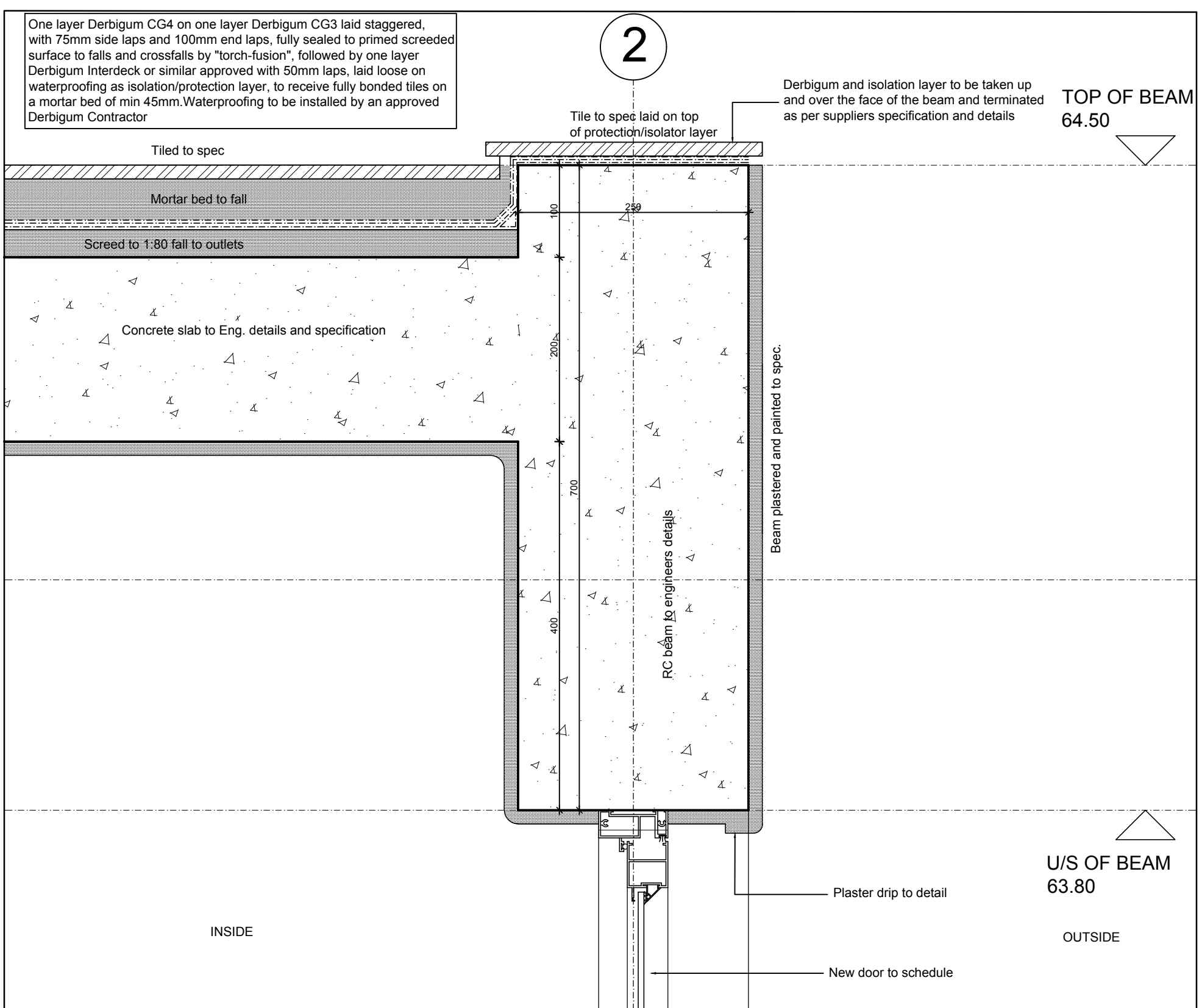
SECTION DETAIL A - A THROUGH PLANTER and FRONT SLAB

Scale 1:5



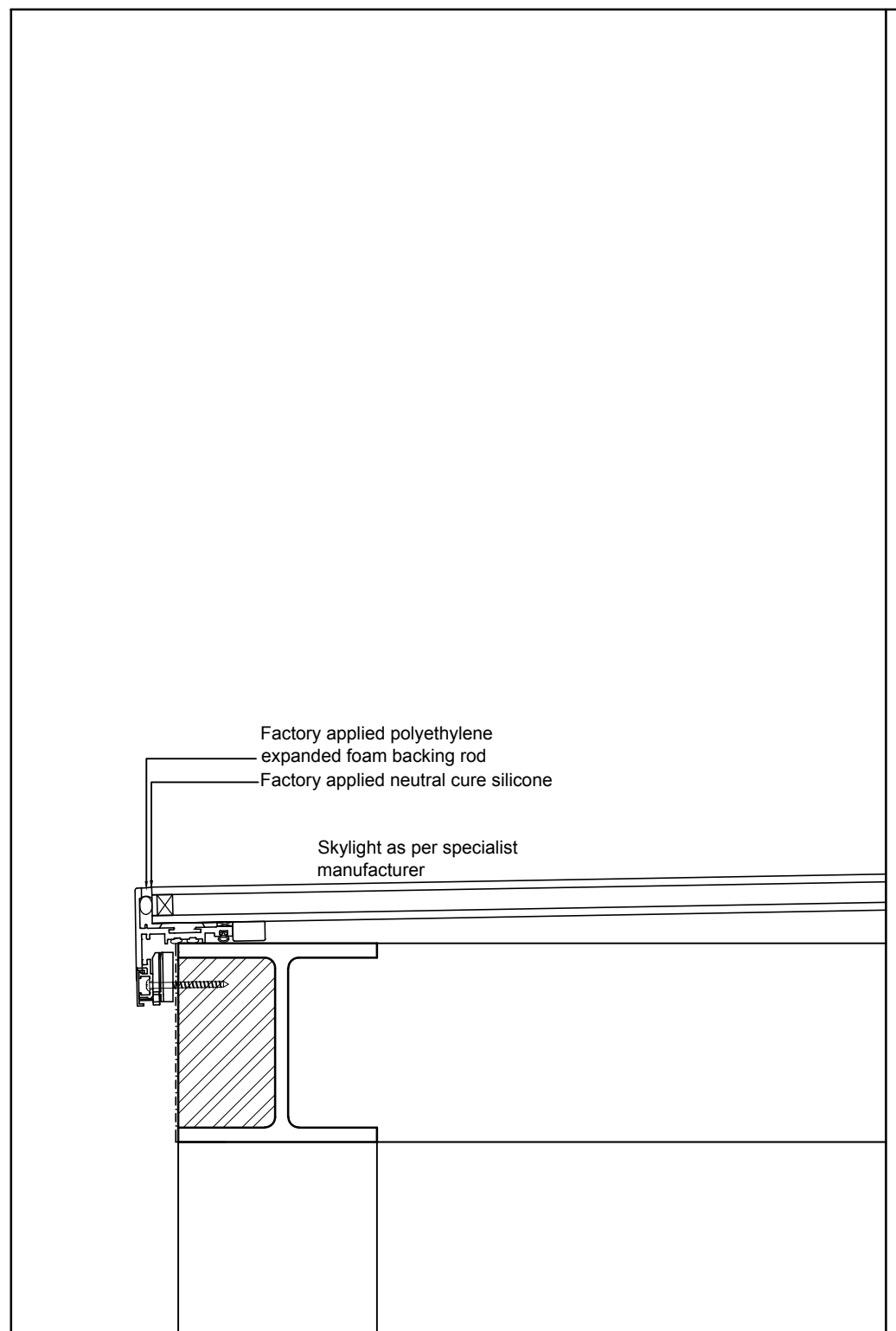
SECTION DETAIL B - B THROUGH PLANTER and PERGOLA

Scale 1:5

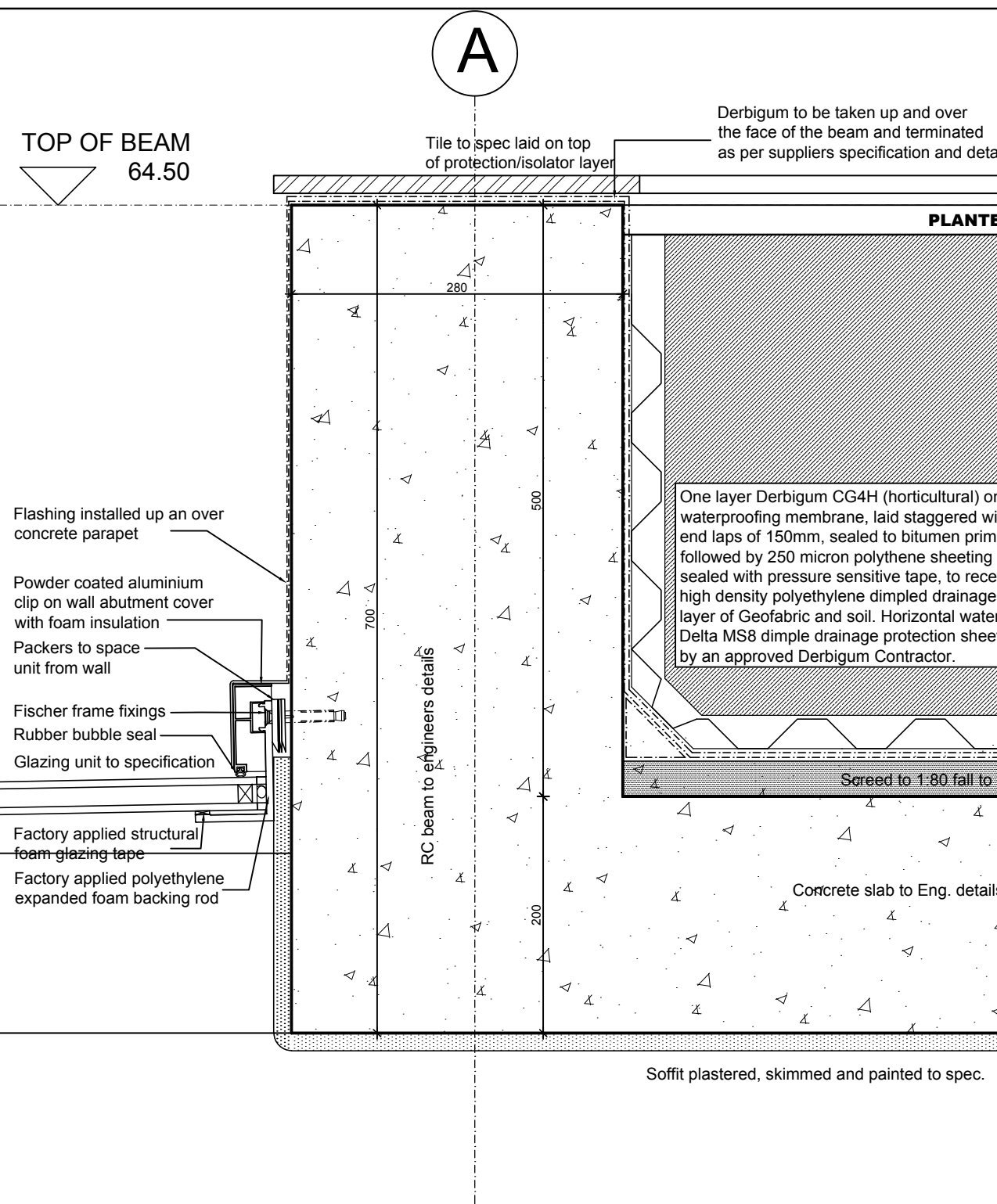


SECTION DETAIL C - C THROUGH DRIVEWAY

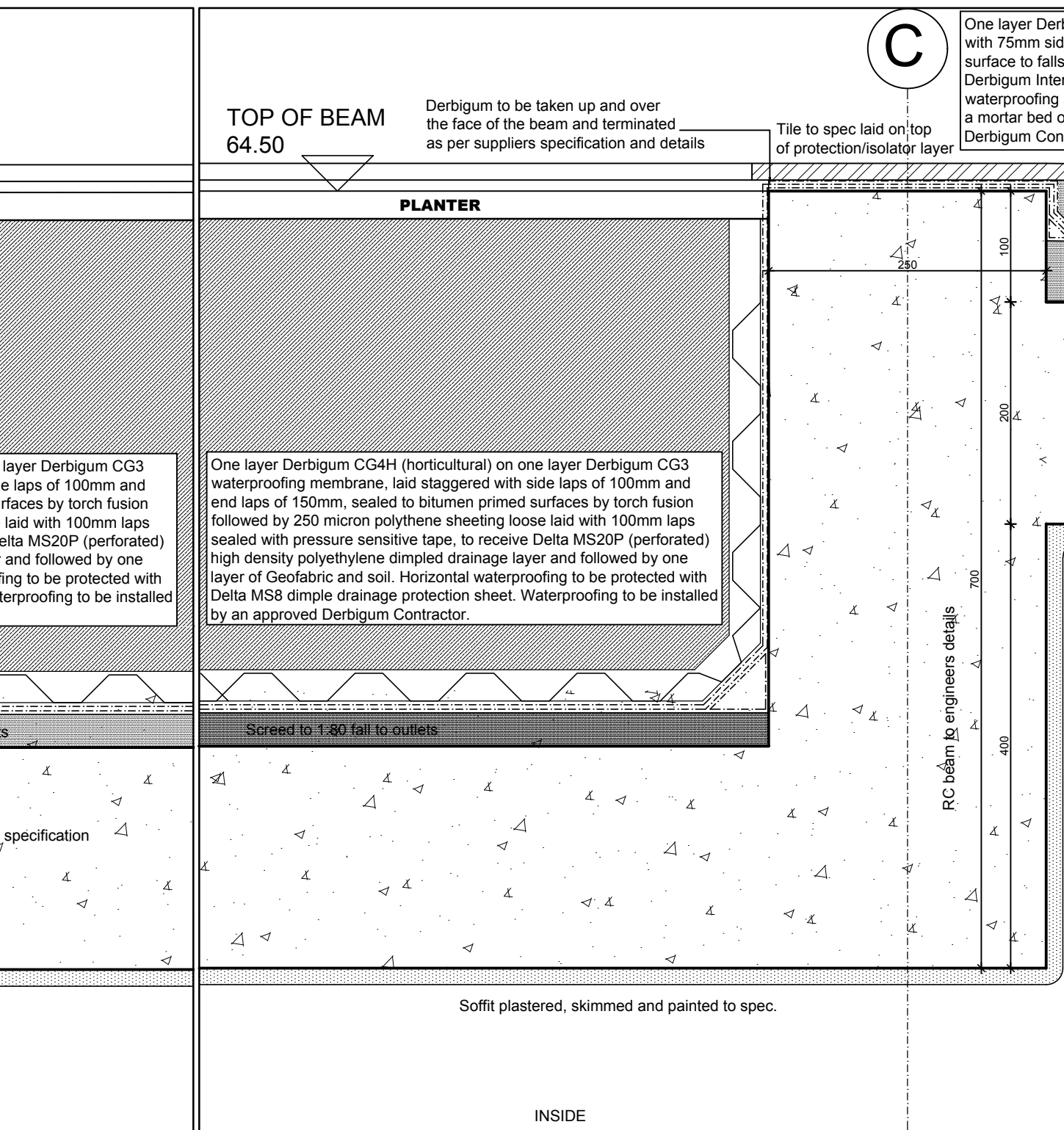
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SECTION DETAIL D - D THROUGH SKYLIGHT

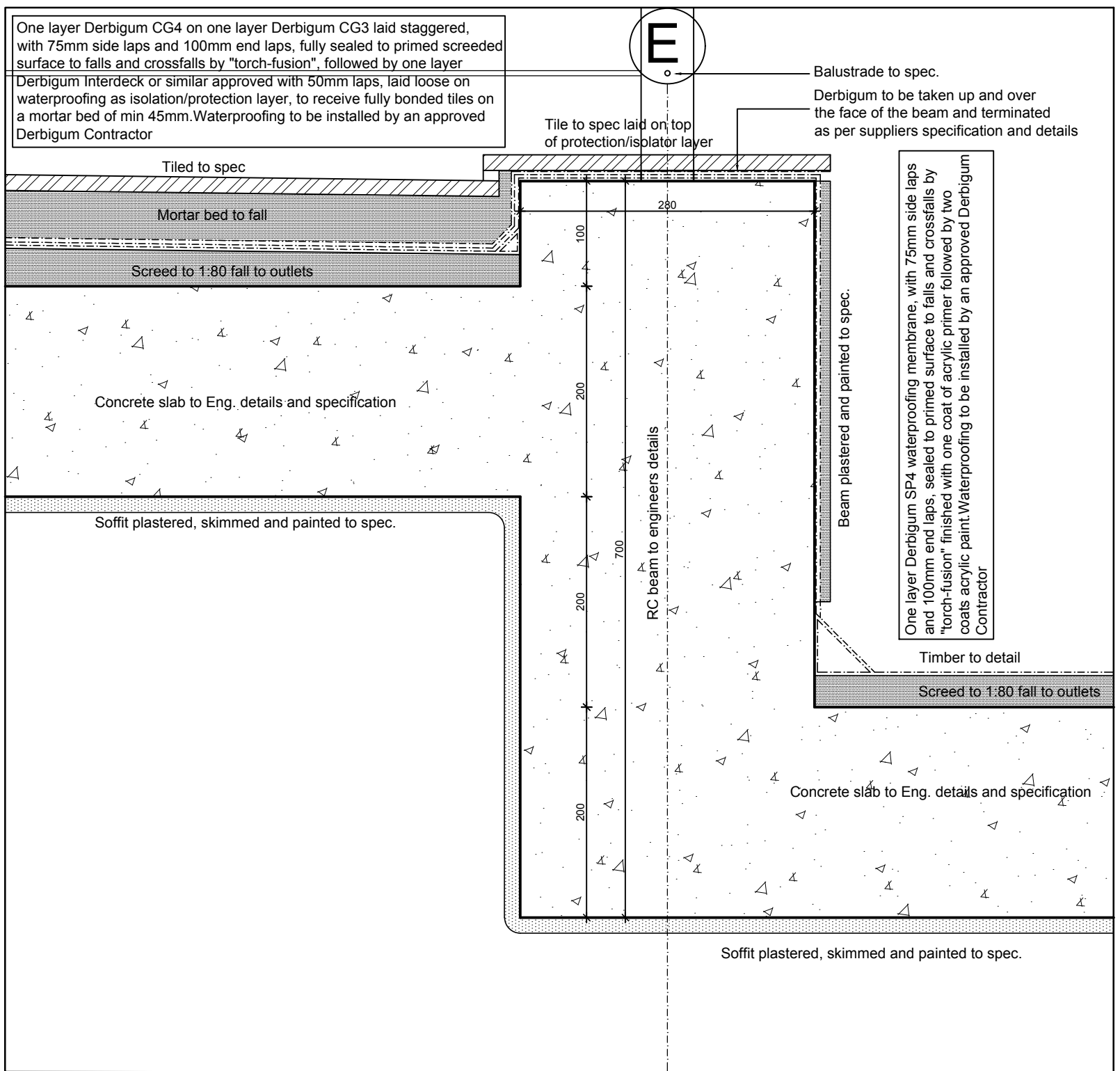


Scale 1:5



SECTION DETAIL E - E THROUGH PLANTER and DRIVEWAY

Scale 1:5



SECTION DETAIL F - F THROUGH ROOF

Scale 1:5

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1.06 INSTALLATION PROGRAMME

THE TENDERER SHALL CONSULT THE CONTRACTOR AS TO THE TIME SCHEDULE FOR THE WORK PRIOR TO SUBMITTING HIS TENDER AND SHALL TAKE INTO ACCOUNT, IN HIS TENDER, THE CONTRACTOR'S REQUIREMENTS IN THAT RESPECT.

1.07 AVAILABILITY OF MATERIALS

BEFORE SUBMITTING HIS TENDER, THE SUB-CONTRACTOR SHALL ASCERTAIN THAT THE MATERIALS AS SPECIFIED HEREIN FOR THE WORKS ARE AVAILABLE. ANY DEFICIENCIES IN THIS RESPECT ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, FOLLOWING THE APPOINTMENT. THE SUB-CONTRACTOR SHALL TIMELY ORDER ALL THE NECESSARY MATERIALS AND ARRANGE FOR THE PROCESSING OF ALL SUCH MATERIALS REQUIRED TO CARRY OUT THE SUB-CONTRACT WORKS.

1.08 SABS

THE TERMS SABS IN THIS SPECIFICATION SHALL MEAN A STANDARD SPECIFICATION AND/OR CODE OF PRACTICE ISSUED BY THE SOUTH AFRICAN BUREAU OF STANDARDS.

ALL WORK SHALL CONFORM TO THE RELEVANT SABS AND MANUFACTURERS SPECIFICATIONS.

1.09 POWER

SINGLE PHASE ELECTRICAL POWER WILL BE PROVIDED BY THE CONTRACTOR WITHIN 20 METERS OF THE SUB-CONTRACT WORK AT EACH FLOOR LEVEL. THE SUB-CONTRACTOR IS TO PROVIDE HIS OWN WIRING FROM THAT LOCATION.

PART 2: GENERAL REQUIREMENTS

THE SUB-CONTRACTOR IS TO INCLUDE FOR ALL THINGS NECESSARY FOR THE SATISFACTORY AND COMPLETE INSTALLATION OF ALL THE WORK.

2.01 SURFACE PREPARATION

SMOOTH THE CONCRETE OR TROWELLED CEMENT SCREED SURFACES ARE TO BE PROVIDED FOR MEMBRANE ADHESION. SURFACES MUST BE FREE OF VOIDS, SPALLED AREAS, LOOSE AGGREGATE, AND SHARP PROTRUSIONS. WITH NO COARSE AGGREGATE VISIBLE. BROOM FINISHES MUST NOT BE USED. CONCRETE MUST BE CURED AND DRY BEFORE THE APPLICATION OF WATERPROOFING. CHECK THAT THE FORMS HAVE BEEN REMOVED AS SOON AS POSSIBLE FROM BELOW THE HORIZONTAL SLABS TO LIMIT ENTRAPMENT OF EXCESS MOISTURE.

2.02 FALLS

TO ENSURE THAT THE ROOF IS ADEQUATELY SELF-DRAINING THE MINIMUM FALLS SHALL BE ONE IN EIGHTY ON ALL SURFACES.

2.03 SAND AND FILLERS

CEMENT AND SAND FILLERS WILL BE PROVIDED BY THE PRINCIPAL CONTRACTOR OF AT LEAST 10MM IN THE SPALL FACE DIMENSION AT 40 DEGREES TO THE ROOF SURFACE TO SUPPORT THE ROOF MEMBRANE AND AVOID SHARP ANGLES IN THE MEMBRANE.

2.04 GUARANTEE PERIOD

THE WATERPROOFING IS TO BE FULLY GUARANTEED FOR A PERIOD OF 12 MONTHS FROM DATE OF THE PRINCIPAL CONTRACT CERTIFICATE OF PRACTICAL COMPLETION.

WATERPROOFING ADDITIONAL SPECIFICATION

SUBSTRATE

The substrate shall be to falls & cross falls of 1:80 to outlets. If no falls and cross falls exist, a dual layer system must be used. The substrate shall be surface dry, clean & smooth/free of voids, protrusions and contaminants. The area is then to be primed using a bituminous primer. Internal corners shall be filleted and external corners rounded.

OUTLETS

The waterproofing is to be full dressed into the drainage outlets so as to ensure a watertight seal. Outlets are to be positioned so that they are easily accessible. Ensure that the level of the flange is kept below the screed level to prevent ponding around the outlet.

FLOOD TEST

The integrity of the waterproofing should be established by means of a flood test of 48hrs - 72hrs duration, prior to handing over to the contractor. A certificate is to be obtained from the professional team recording the date and time period of the test and that the waterproofing treatment was handed over in a clean, proper and watertight condition.

FALLS

To ensure that the roof is adequately self-draining the minimum falls shall be one in eighty on all surfaces.

GUARANTEE PERIOD

The waterproofing is to be fully guaranteed for a period of 12 months from the date of the principal contract certificate of practical completion.

DRAWING STATUS		
	DATE	SIGNATURE
FOR TENDER	07.08.17	
REGISTRATION NUMBER	7907	MICHAEL DENNETT

DV8 architects

The Stockyard, Unit 8, 3 Ravenscraig Rd, Woodstock, Cape Town

021 447 1803 086 694 7450

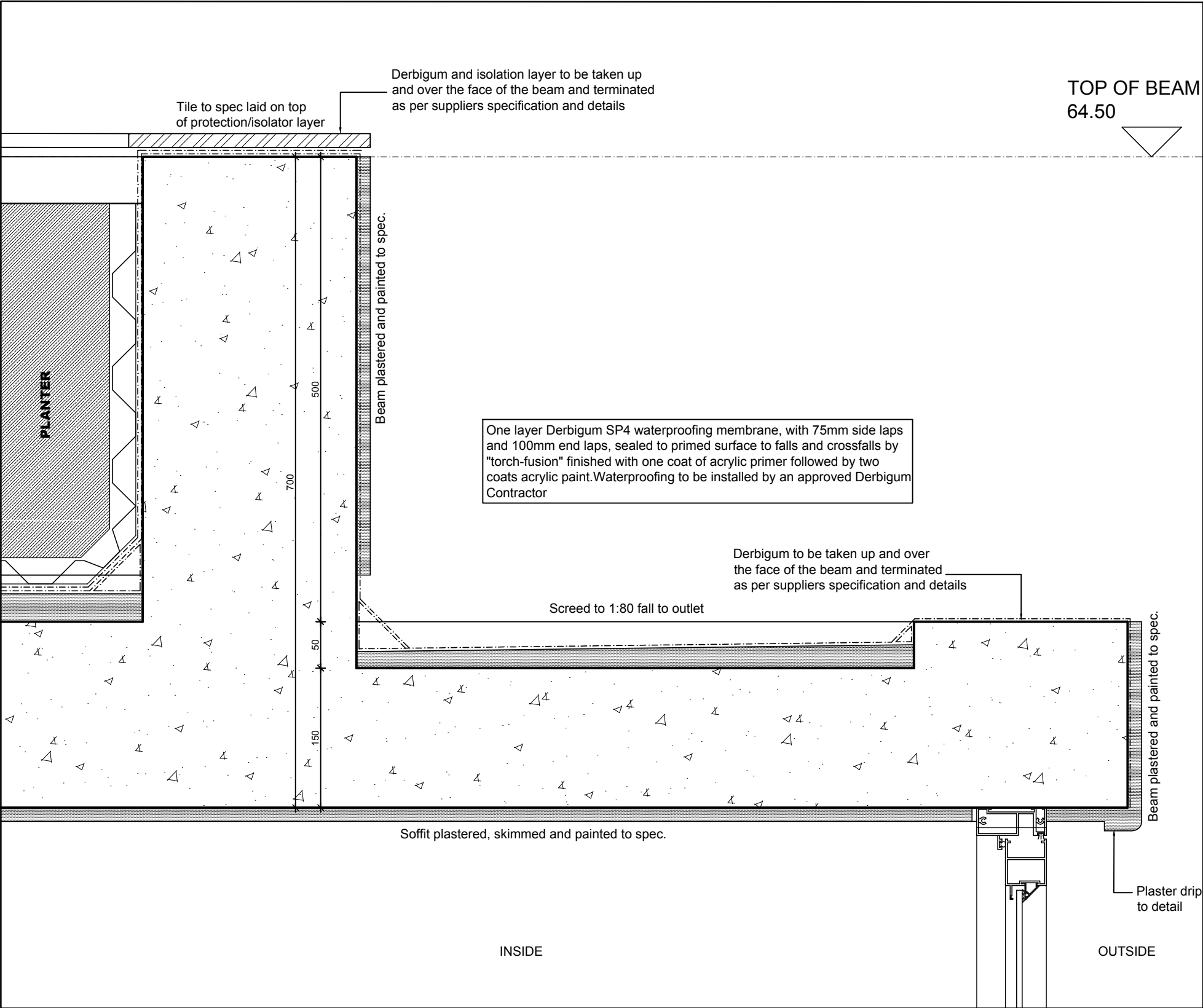
082 485 3077 info@dv8architects.com

NEW DWELLING, ERF 2044, 38R OCEAN VIEW DRIVE, GREENPOINT

WATERPROOFING SECTIONS 1

DRAWN	CHECKED	DATE
JK	Michael Dennett	01 / 08 / 17

SCALE	REVISION	DRAWING NO.
1:5	0	OCE.D3.201



SECTION DETAIL G - G THROUGH ROOF

SPECIFICATION

PART 1: PRELIMINARY AND GENERAL

1.01 SPECIFICATION

THE SPECIFICATION COMPRISES THE FOLLOWING:
PART 1 - THIS PRELIMINARY AND GENERAL
PART 2 - GENERAL REQUIREMENTS
PART 3 - SPECIFIC REQUIREMENTS
ALL PARTS TO BE TAKEN TOGETHER TO ESTABLISH THE FULL EXTENT AND THE MEANING OF THE WHOLE.

1.02 FORM OF THE SUB-CONTRACT

THE SUCCESSFUL TENDERER WILL BE APPOINTED AS A SELECTED SUB-CONTRACTOR TO THE CONTRACTOR.
THE FORM OF SUB-CONTRACT WILL BE THE BIFSA NON-NOMINATED JBCC FORM, LATEST EDITION.

1.03 PRICE ADJUSTMENT / PRICE MAKE-UP

THE WORK CONTAINED IN THIS SUB-CONTRACT SHALL BE ADJUSTED FOR HAYLETT/CPAP SUBJECT ONLY TO THE VARIATIONS TO THE WORK DOCUMENTED BY OFFICIALLY ISSUED ARCHITECTS INSTRUCTIONS.
THE SUB-CONTRACTOR SHALL DISCLOSE AN ANALYSIS OF HIS TENDER MAKE-UP TO THE ARCHITECT WITHIN 2 WEEKS OF HIS APPOINTMENT.

1.04 DESIGN AND INDEMNITY

THE SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETAILED DESIGN OF HIS WORK, INCLUDING THE SELECTION OF HIS OWN MATERIALS.
THE TENDERER SHALL COMPLETE AND RETURN TO THE ARCHITECT, WITH HIS TENDER, TWO COPIES OF THE COMPLETED FORM OF INDEMNITY.

1.04 COLLABORATION WITH OTHERS

THE SUB-CONTRACTOR SHALL COLLABORATE WITH OTHERS IN THE FINALISATION AND DETAILING OF HIS WORK, PARTICULARLY WHERE WORK OF THE OTHERS AFFECTS, OR IS AFFECTED BY, THE SPECIFIC DESIGN AND THE INSTALLATION REQUIREMENTS OF THE WORK IN THIS SUB-CONTRACT.

THE SUB-CONTRACTOR SHALL TAKE STEPS AS ARE NECESSARY TO COLLABORATE WITH OTHER SUB-CONTRACTORS ON SITE THAT AFFECT, OR ARE AFFECTED BY, THE WORK EMBODIED IN THE SUB-CONTRACT

1.06 INSTALLATION PROGRAMME

THE TENDERER SHALL CONSULT THE CONTRACTOR AS TO THE TIME SCHEDULE FOR THE WORK PRIOR TO SUBMITTING HIS TENDER AND SHALL TAKE INTO ACCOUNT, IN HIS TENDER, THE CONTRACTOR'S REQUIREMENTS IN THAT RESPECT

1.07 AVAILABILITY OF MATERIALS

BEFORE SUBMITTING HIS TENDER THE SUB-CONTRACTOR SHALL ASCERTAIN THAT THE MATERIALS AS SPECIFIED HEREIN FOR THE WORKS ARE AVAILABLE. ANY DEFICIENCIES IN THIS RESPECT ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

FOLLOWING THE APPOINTMENT THE SUB-CONTRACTOR SHALL TIMEOUSLY ORDER ALL THE NECESSARY MATERIALS AND ARRANGE FOR THE PROCESSING OF ALL SUCH MATERIALS REQUIRED TO CARRY OUT THE SUB-CONTRACT WORKS.

1.08 SABS:

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2.02 UPSTANDS AND SKIRTINGS

CEMENT AND SAND FILLETS WILL BE PROVIDED BY THE PRINCIPAL CONTRACTOR OF AT LEAST 70MM IN THE SPLAY FACE DIMENSION AT 45 DEGREES TO THE ROOF SURFACE TO SUPPORT THE ROOF MEMBRANE AND AVOID SHARP ANGLES IN THE MEMBRANE.

2.03 FALLS

TO ENSURE THAT THE ROOF IS ADEQUATELY SELF-DRAINING THE MINIMUM FALLS SHALL BE ONE IN EIGHTY ON ALL SURFACES.

2.04 GUARANTEE PERIOD

THE WATERPROOFING IS TO BE FULLY GUARANTEED FOR A PERIOD OF 12 MONTHS FROM DATE OF THE PRINCIPAL CONTRACT CERTIFICATE OF PRACTICAL COMPLETION.

WATERPROOFING ADDITIONAL

SPECIFICATION

SUBSTRATE

The substrate shall be to falls & cross falls of 1:80 to outlets. If no falls and cross falls exist, a dual layer system must be used. The substrate shall be

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accessible. Ensure that the level of the flange is kept below the screed level to prevent ponding around the outlet.

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A certificate is to be obtained from the professional team recording the date and time period of the test and that the waterproofing treatment was handed

over in a clean, proper and watertight condition.

FALLS

To ensure that the roof is adequately self-draining the minimum falls shall be one in eighty on all surface=s.

GUARANTEE PERIOD

The waterproofing is to be fully guaranteed for a period of 12 months from the date of the principal contract certificate of practical completion

PROJECT
NEW DWELLING, ERF 2044, 38R OCEAN
VIEW DRIVE, GREENPOINT

DRAWING
WATERPROOFING
SECTIONS 2

REVISIONS

-	-	-

DRAWN

JK

SCALE

1:5

DATE

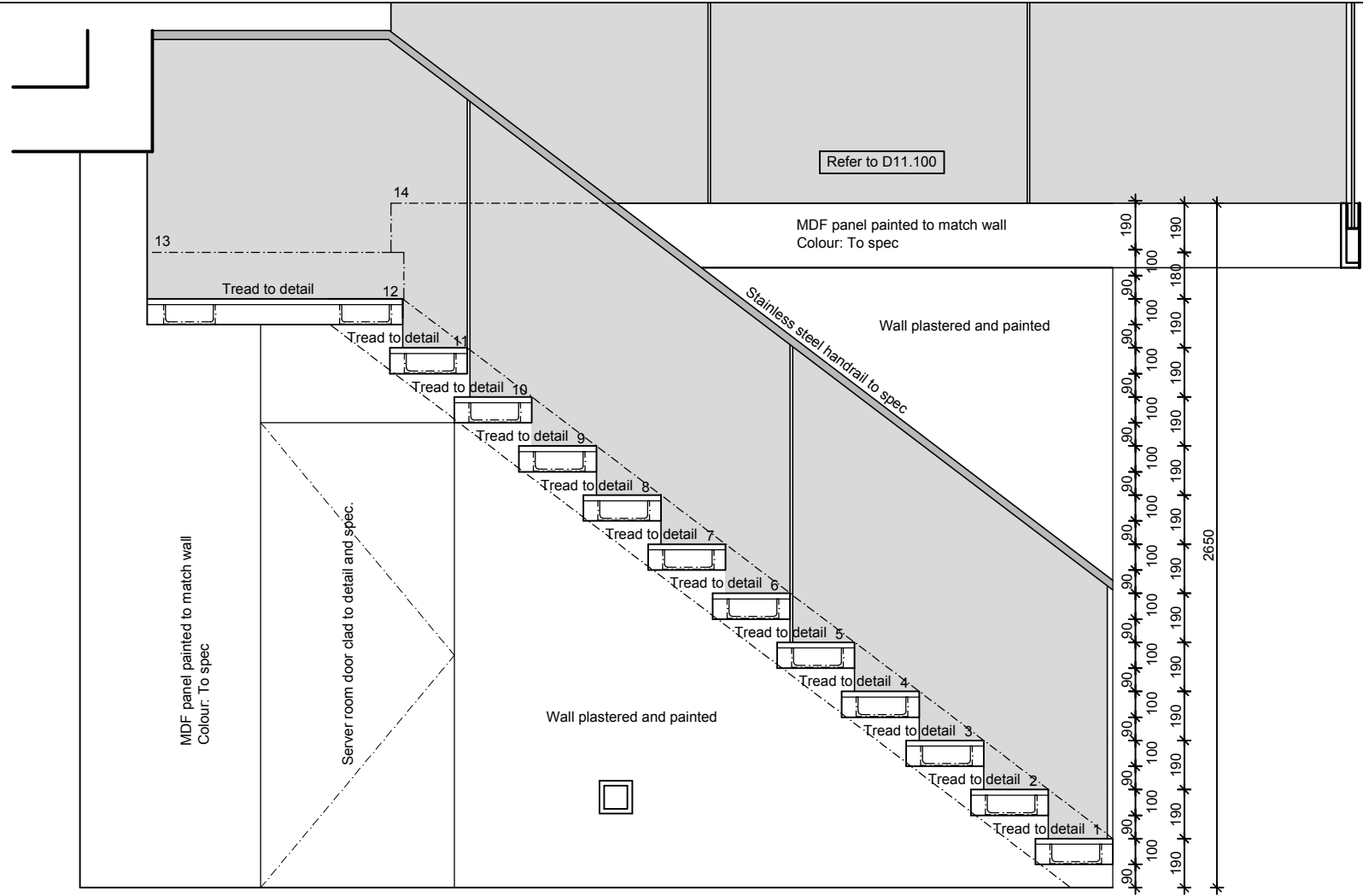
21 / 02 / 18

DRAWING NO.

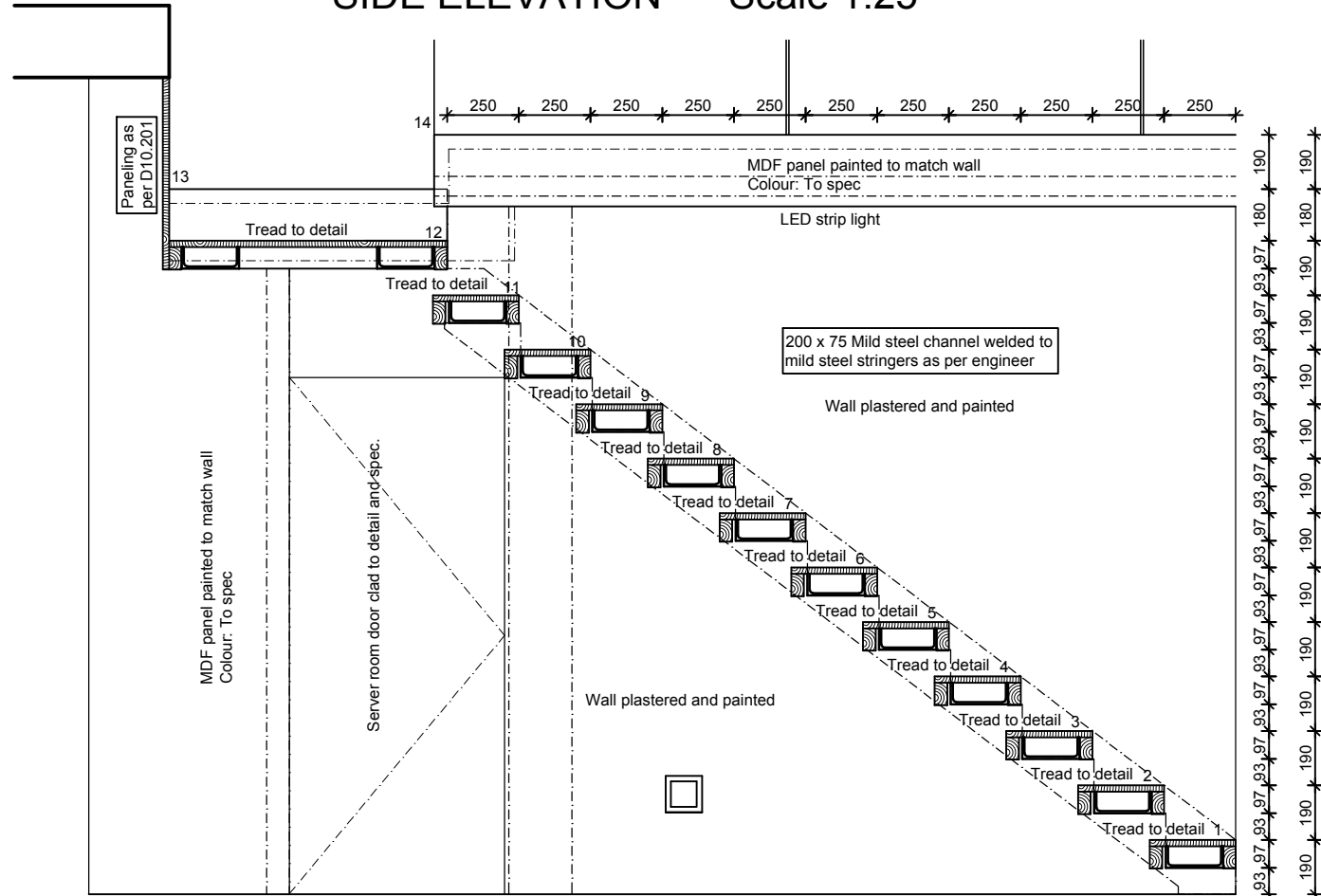
D3.202

DV8 architects

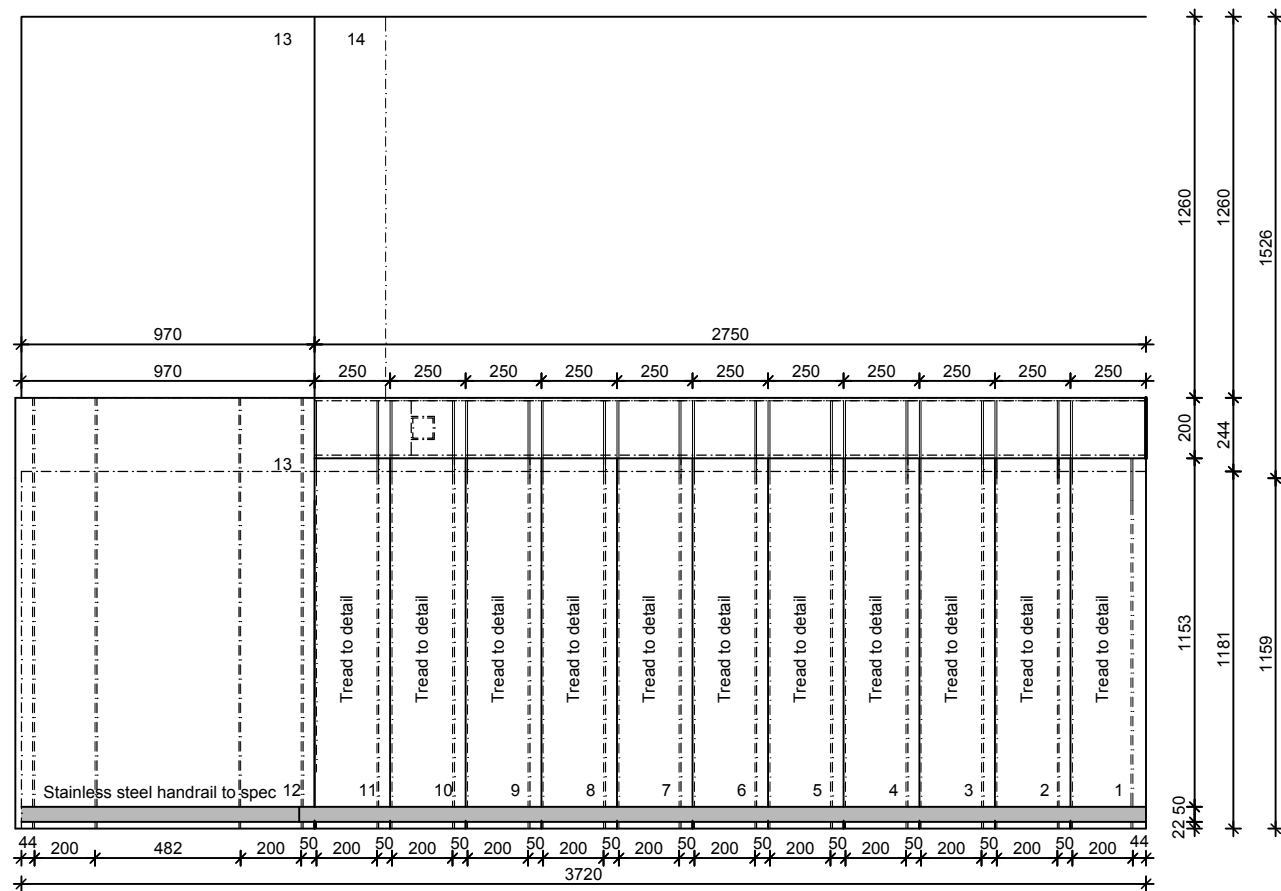
The Stockyard, Unit 8, 3 Ravenscriag road, Woodstock, Cape Town
021 447 1803 086 694 7450
082 485 3077 info@dv8architects.com



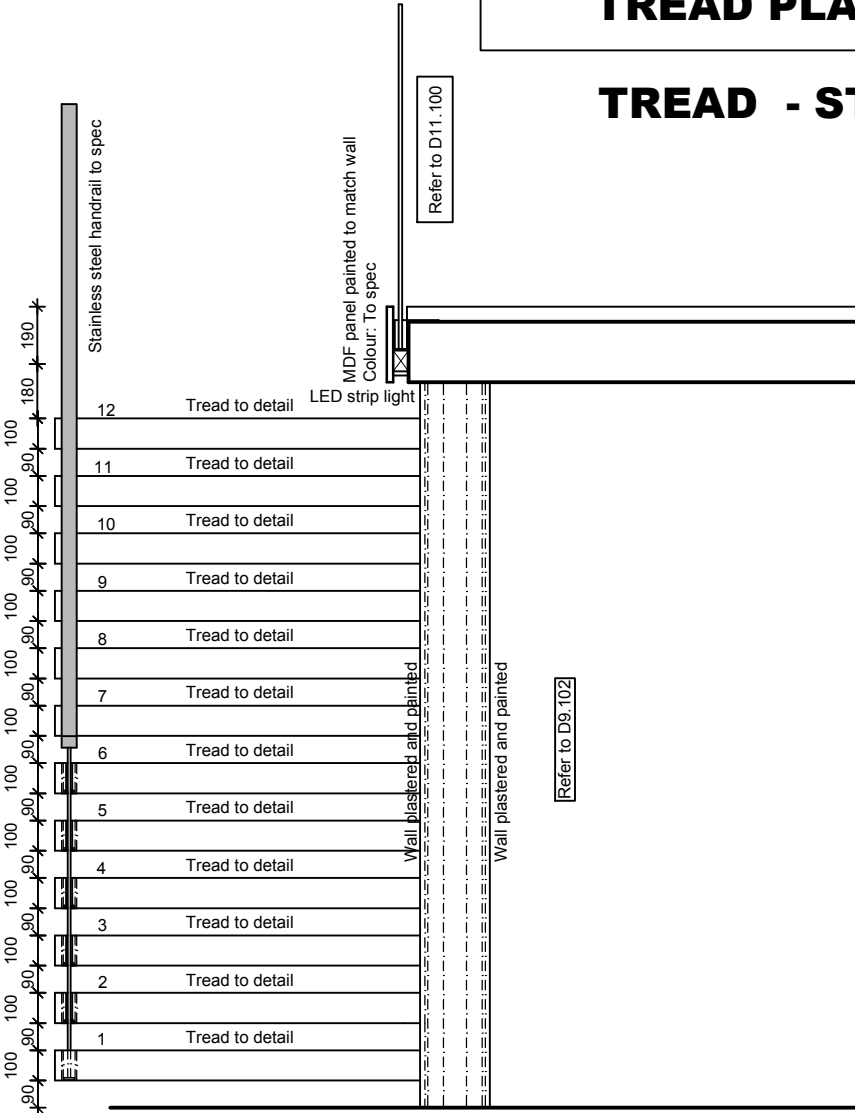
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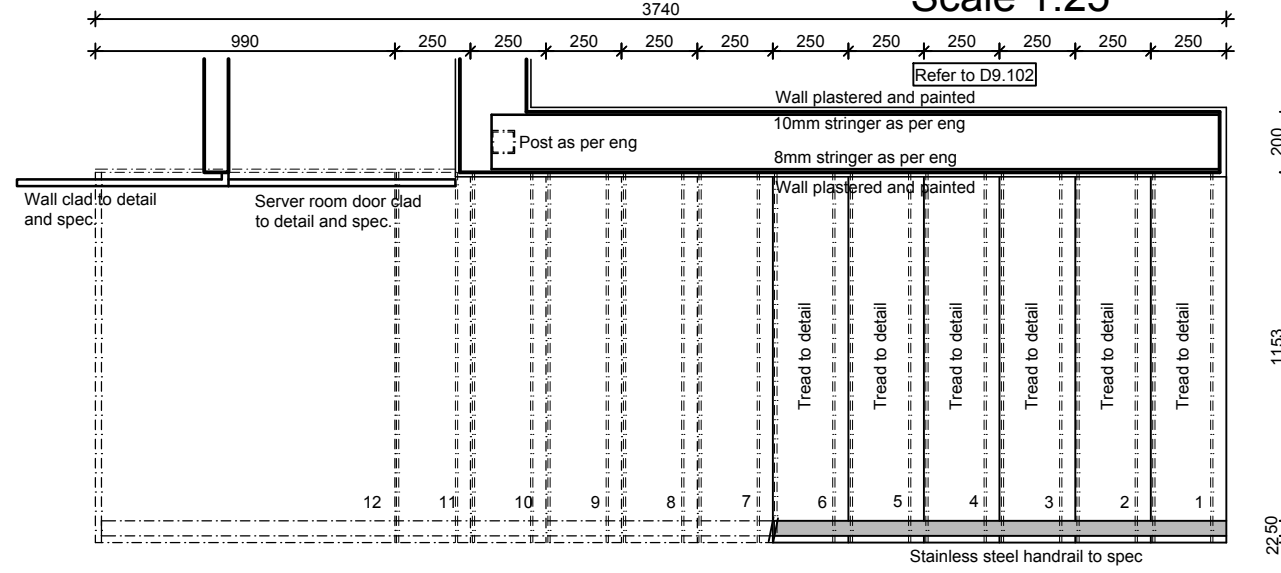
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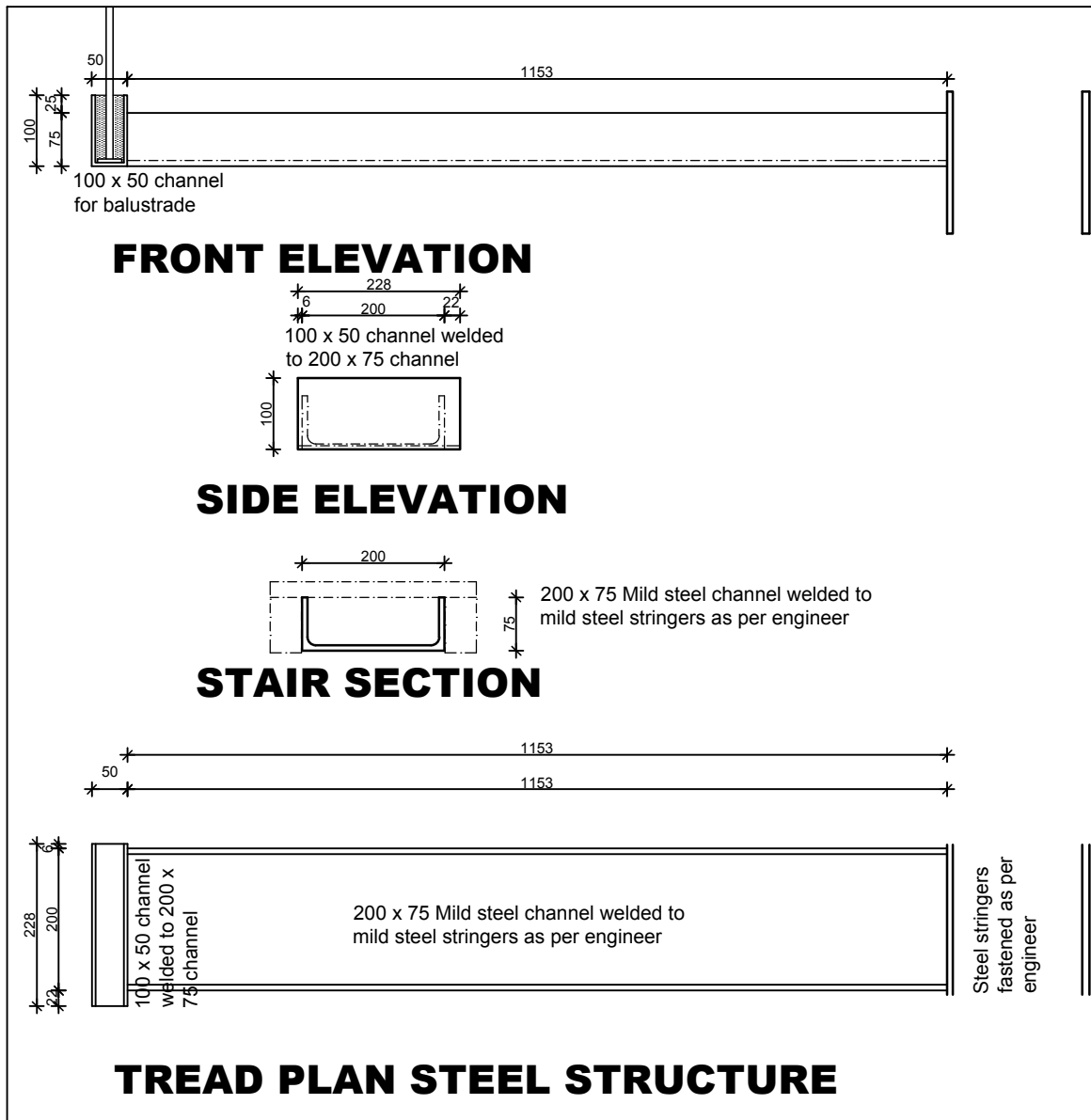
PLAN OF STAIRCASE (upper) Scale 1:25



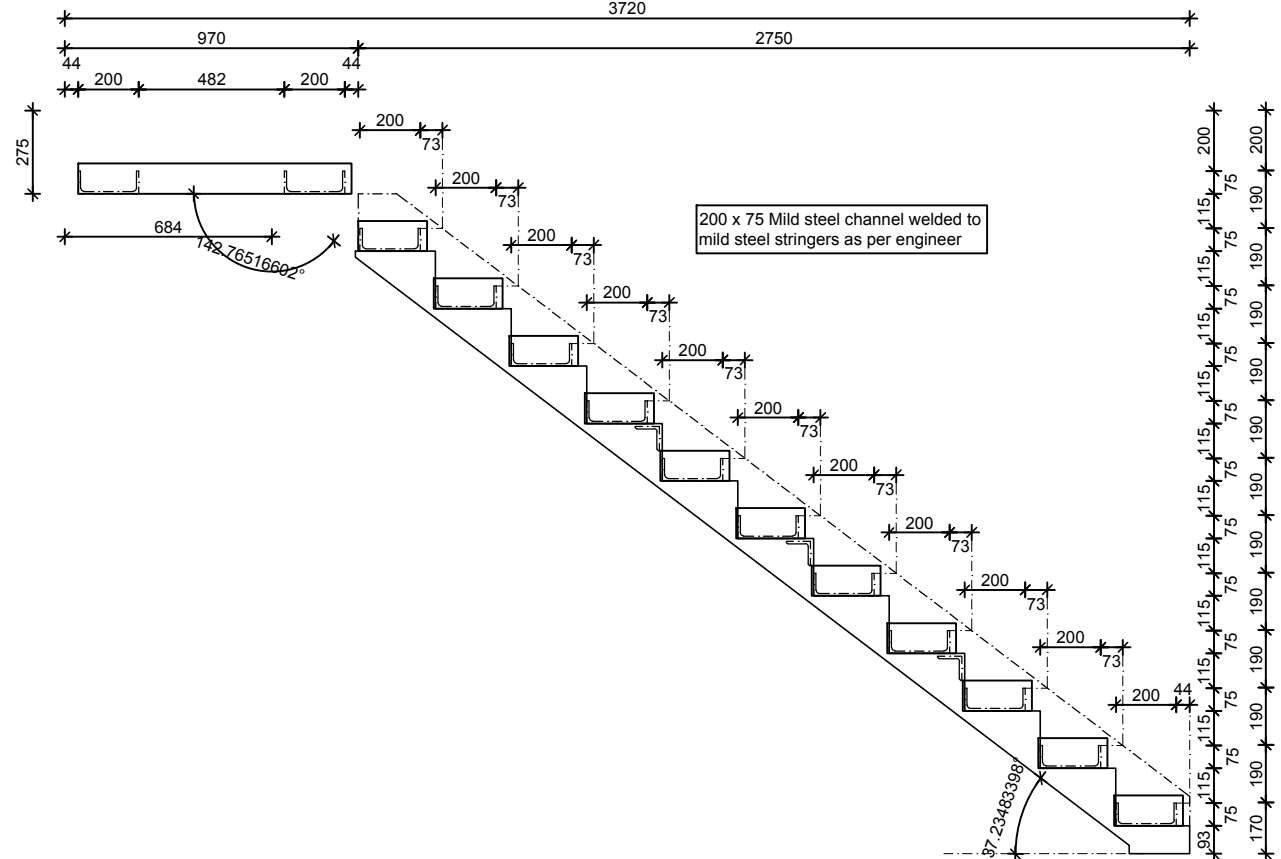
FRONT ELEVATION Scale 1:25



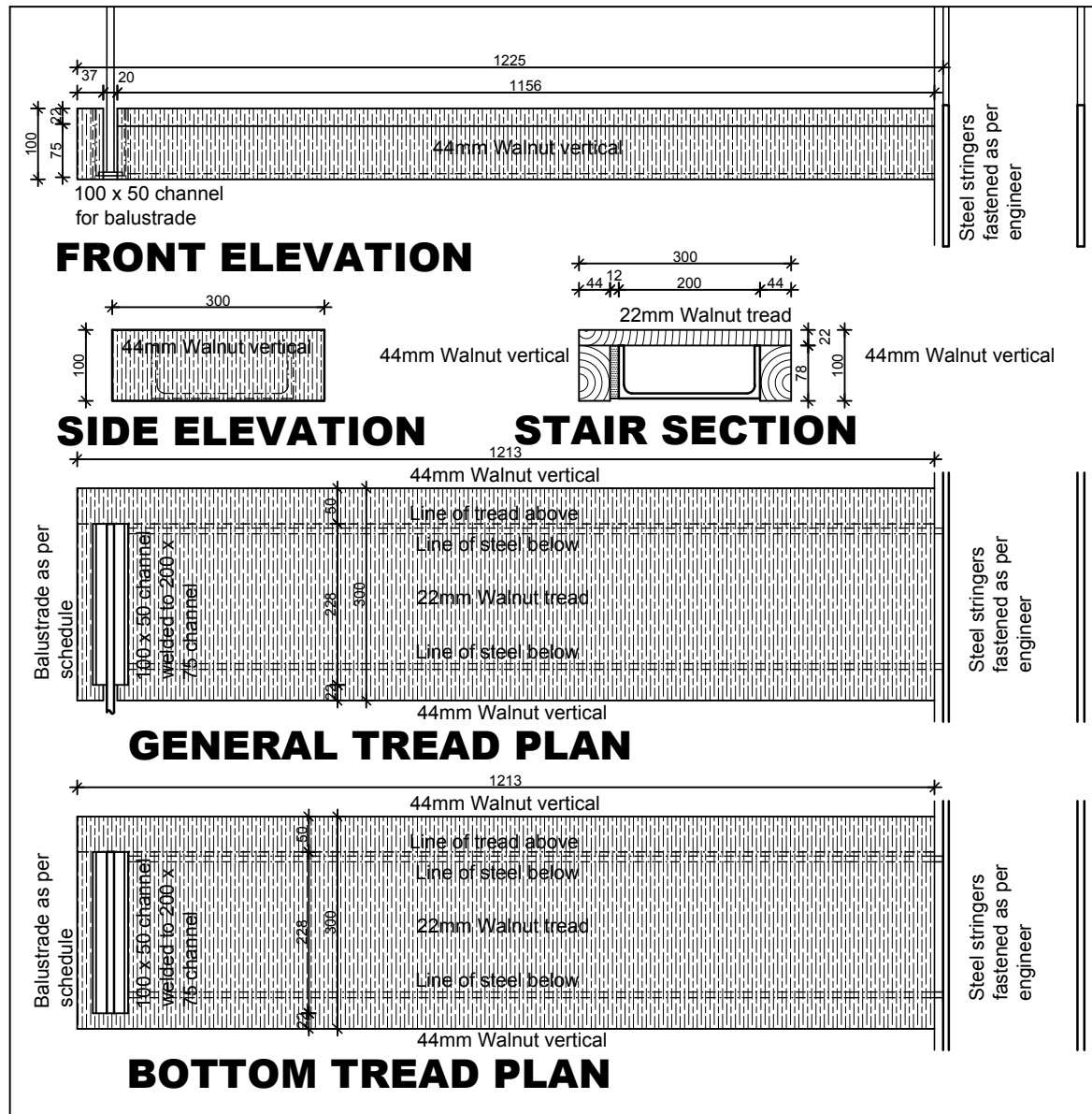
PLAN OF STAIRCASE (lower) Scale 1:25



TREAD - STEEL DETAILS Scale 1:10



ELEVATION OF STEEL STRUCTURE Scale 1:25



TREAD - TIMBER DETAILS Scale 1:10

GENERAL NOTES		
• The design of this drawing is copyright and remains the property of the architect.		
• All relevant details, levels, dimensions, setting out positions are to be checked prior to any work commencing and any discrepancies are to be brought to the architects attention.		
• The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.		
• All dimensions are given in millimetres		
• Drawings are to read in conjunction with engineers drawings		
• Contractor to keep full set of drawings on site		
• Contractor is responsible for the correct setting out of the building on site with particular reference to boundaries and building lines		
• Contractor and Engineer to verify all levels and dimensions on site and check same against architects drawings before commencing work		
• Figured dimensions to be used in preference to scaled dimensions		
• Large scale details to be used where available		

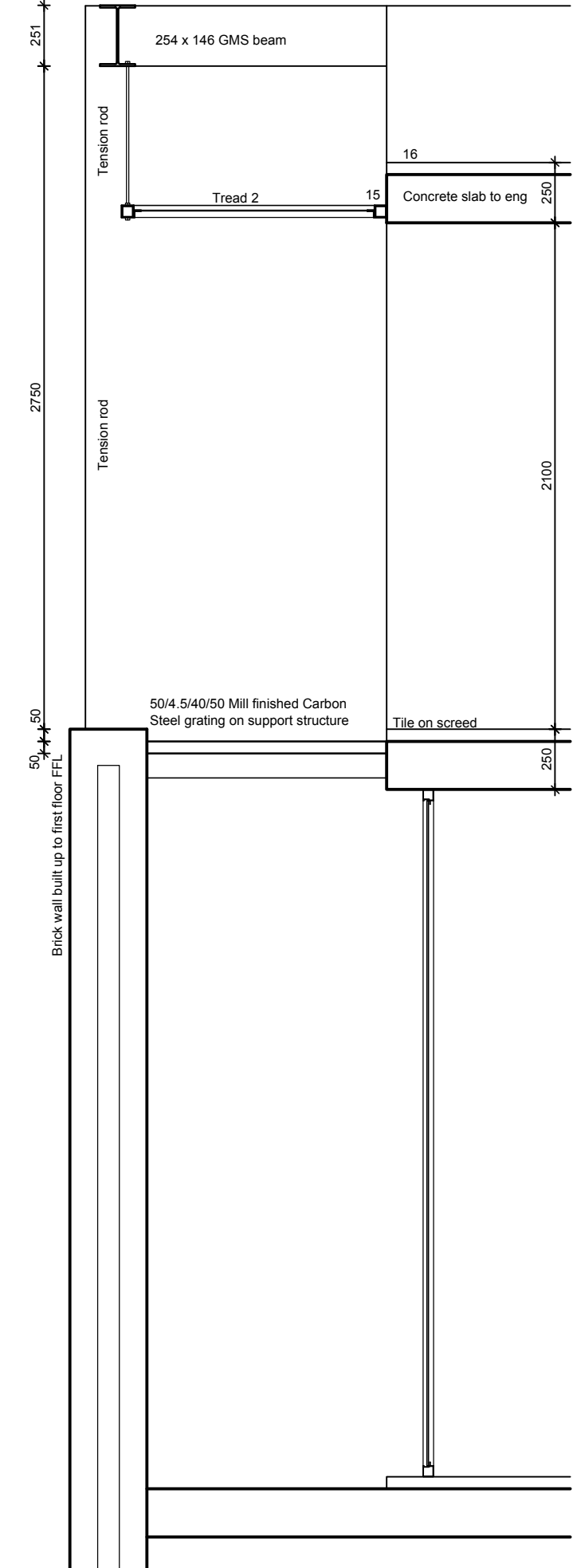
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REV.	DESCRIPTION	DATE
B	REVISED TO STEEL STRUCTURE	06.09.18
B	FOR TENDER	17.09.18
C	REVISED WALNUT PANELING	12.10.18
D	BRICK WALL, WALL CLADDING REMOVED	10.01.19

DRAWING STATUS		
FOR CONSTRUCTION		
	DATE	SIGNATURE

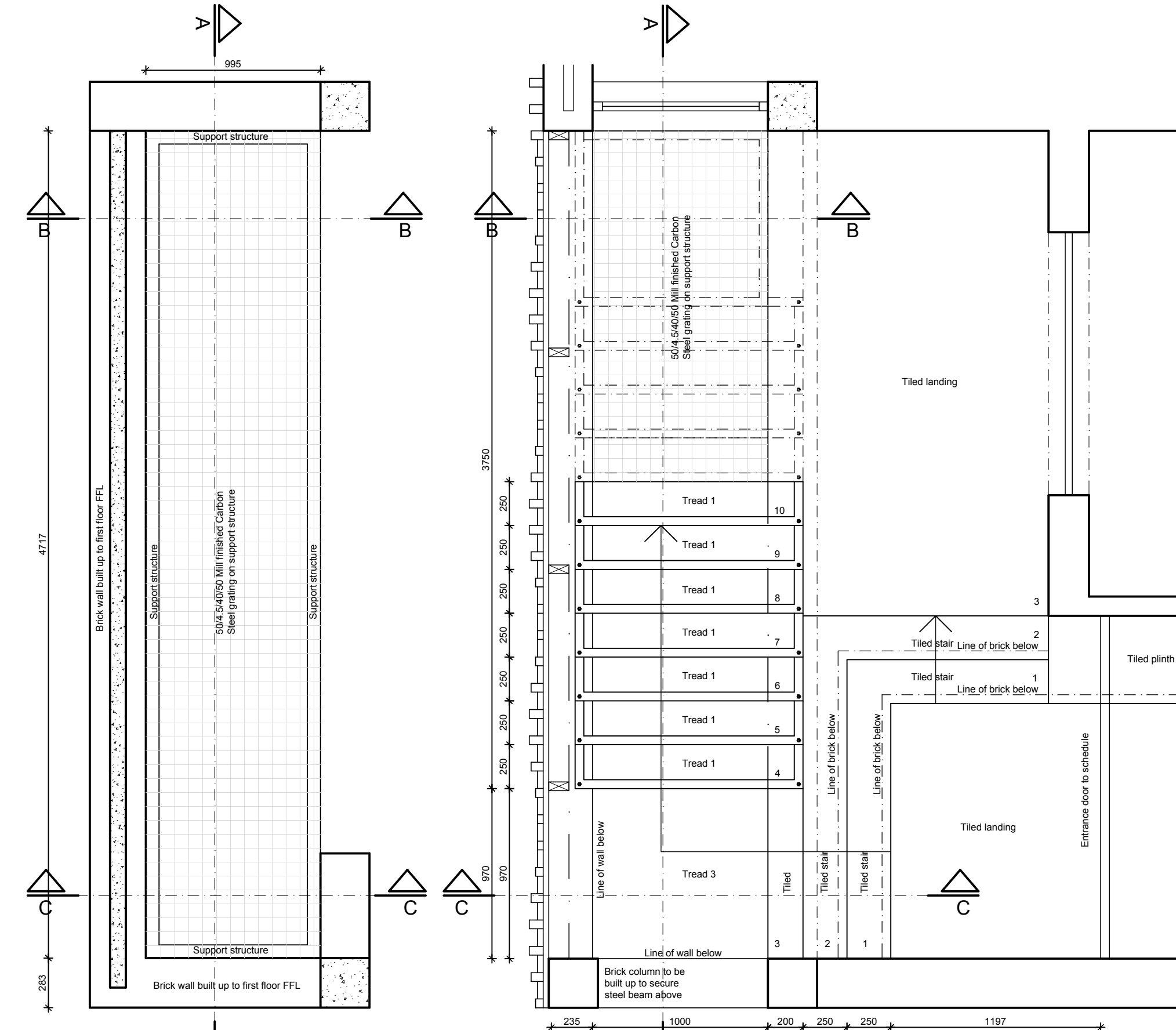
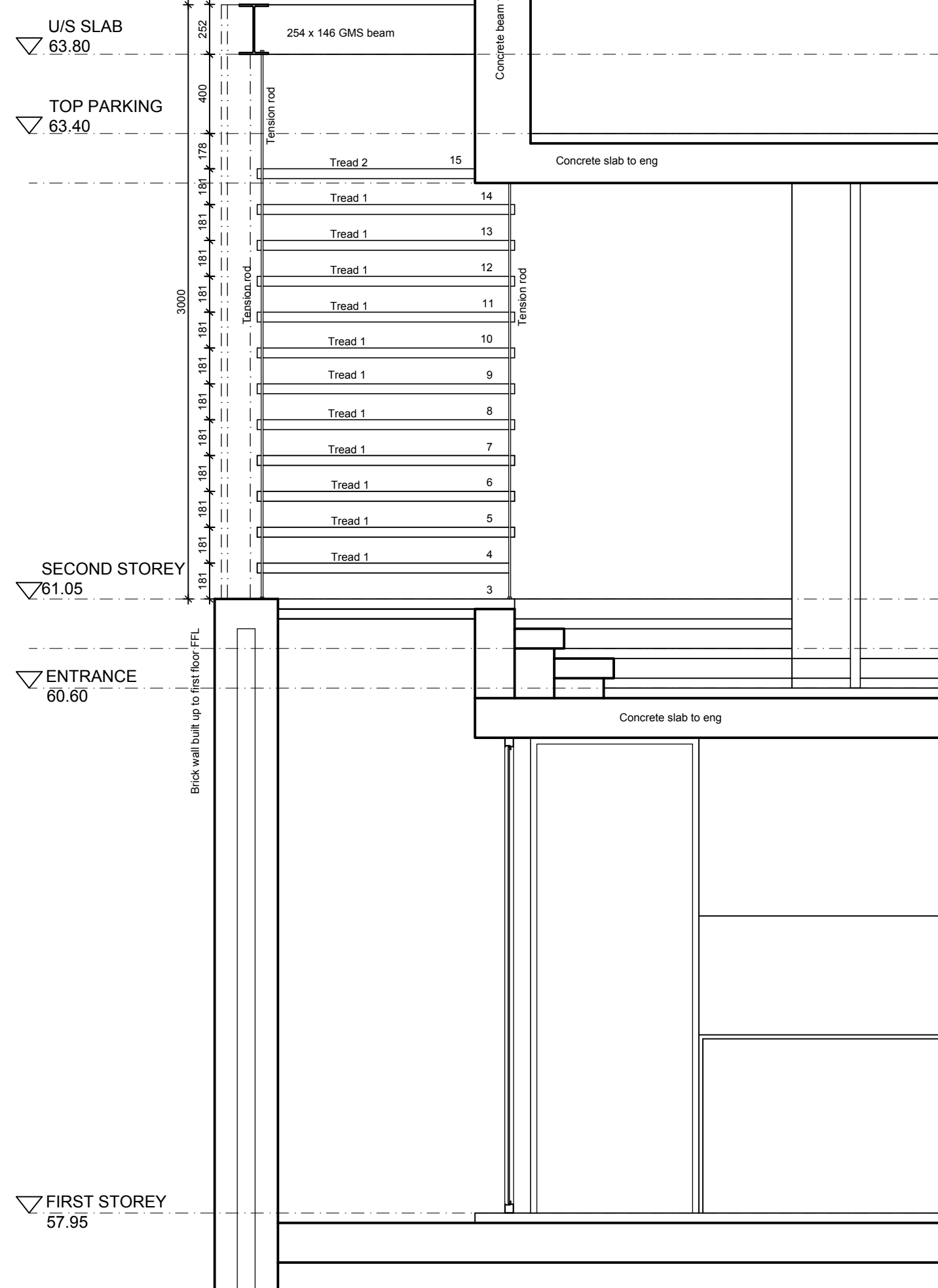
DV8 architects		
The Stockyard, Unit 8, 3 Ravenscraig Rd, Woodstock, Cape Town		
021 447 1803	086 694 7450	
082 485 3077	info@dv8architects.com	

NEW DWELLING, ERF 2044, 38R OCEAN VIEW DRIVE, GREENPOINT, CAPE TOWN		
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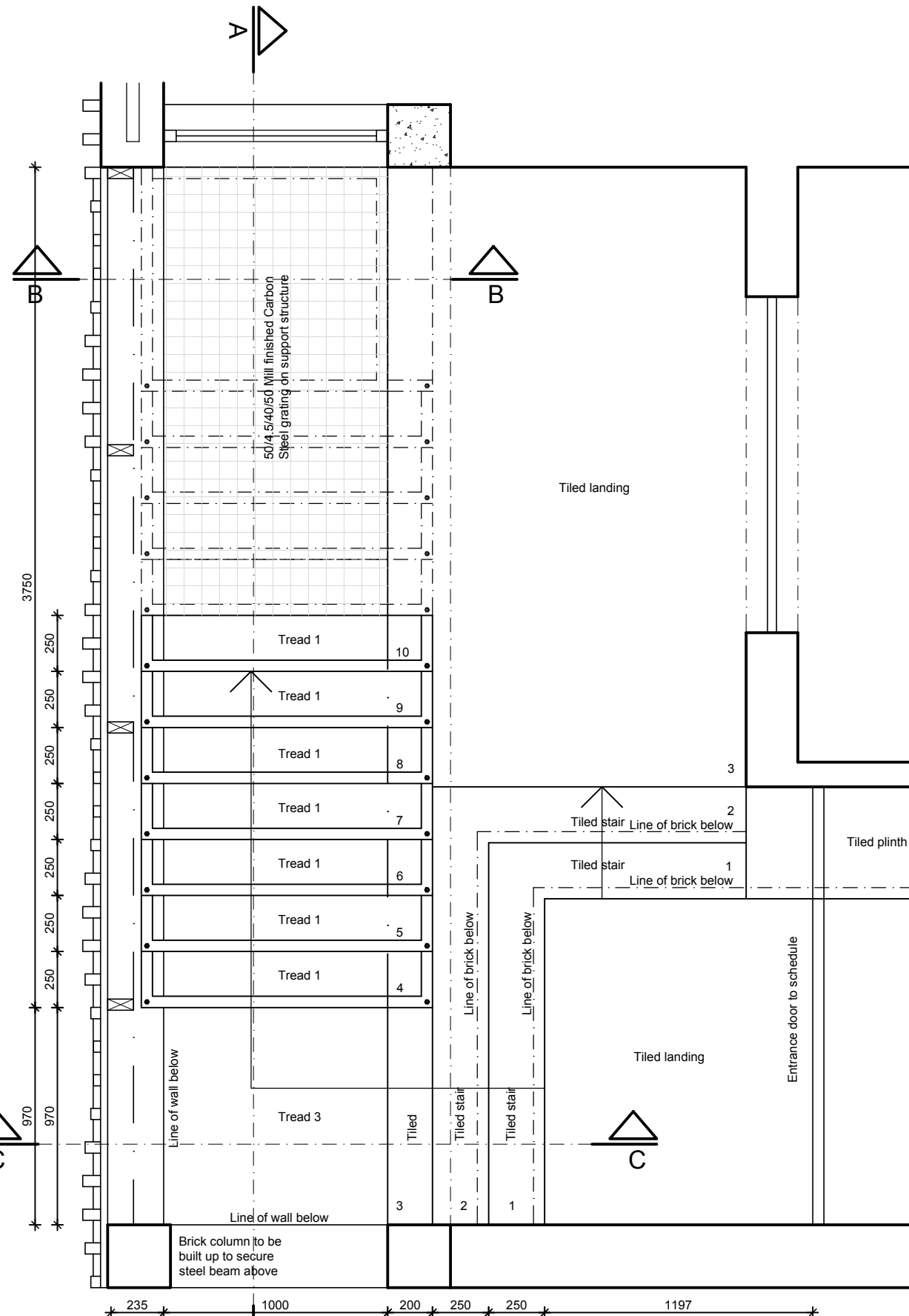
MAIN STAIRCASE		
DRAWN	CHECKED	DATE
MD	Michael Dennett	10 / 01 / 19
SCALE	REVISION	DRAWING NO.
1:25	D	D5.100



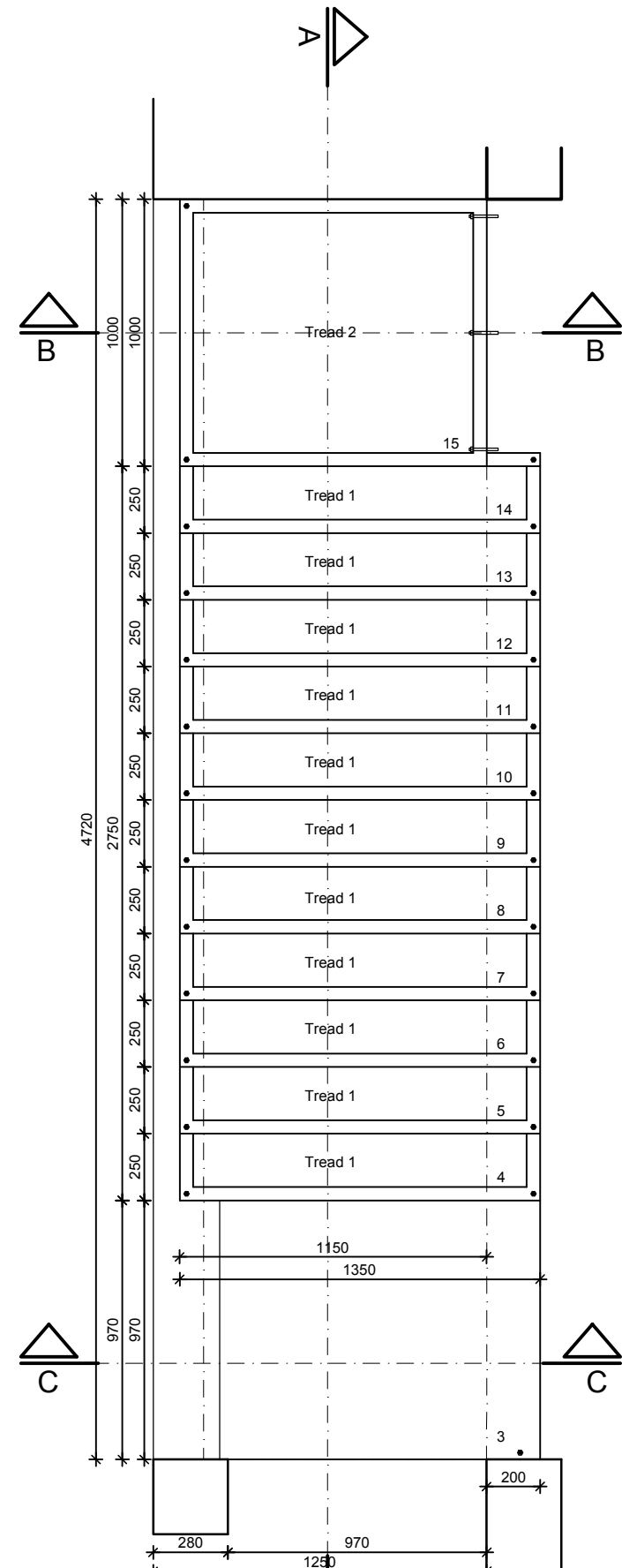
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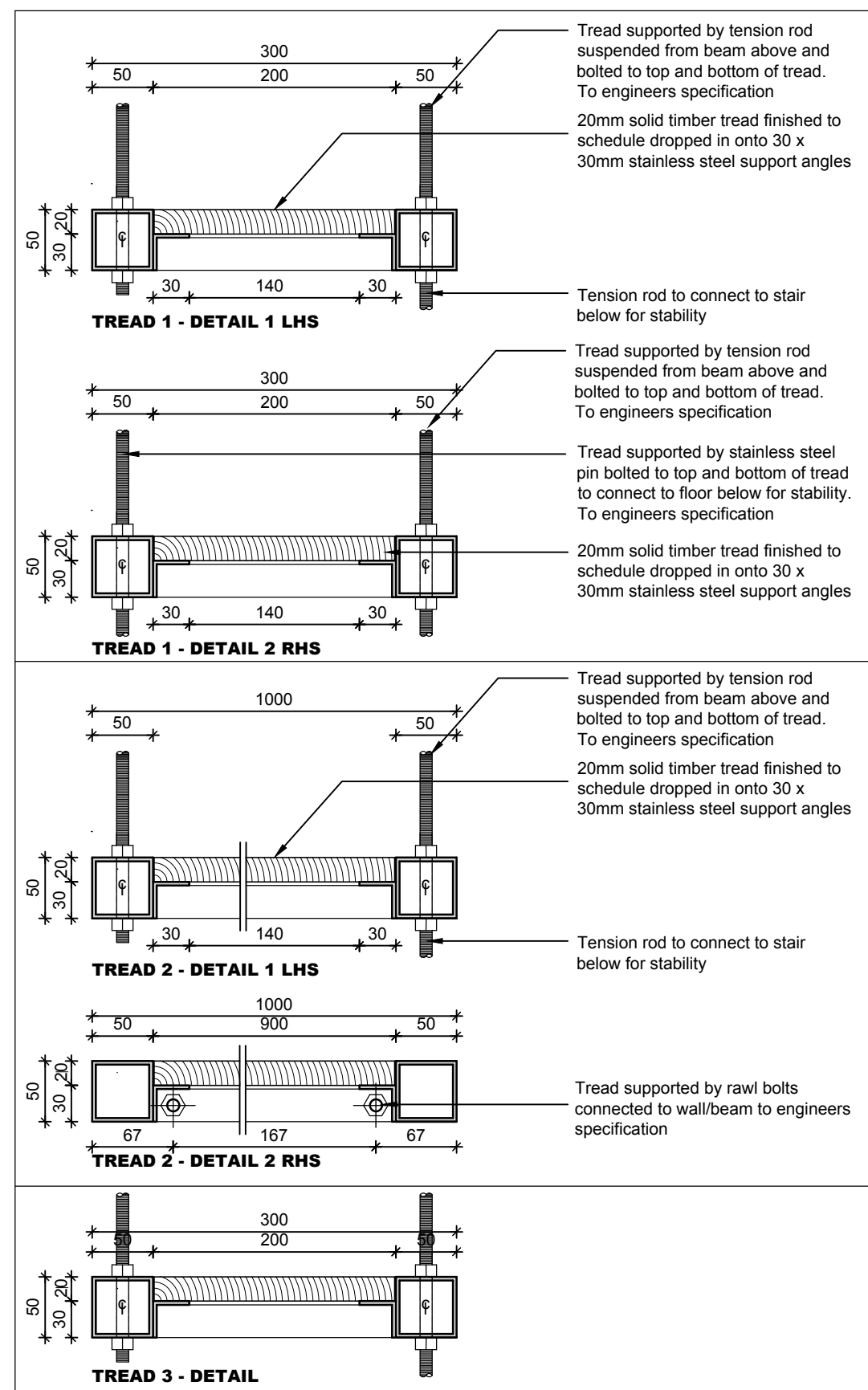
PLAN OF PLATFORM Scale 1:25



PLAN OF STAIRCASE - FIRST FLOOR Scale 1:25

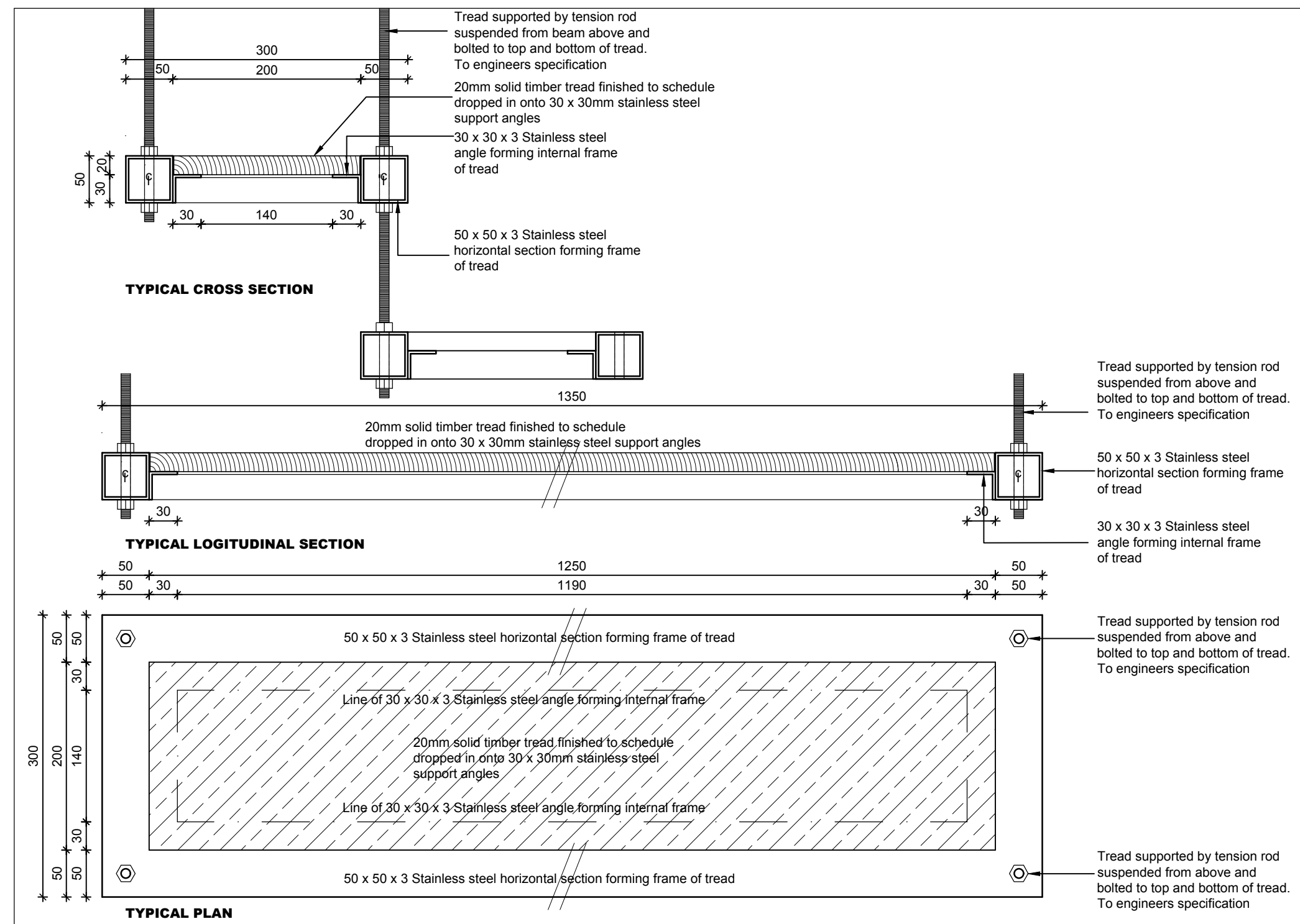


PLAN OF STAIRCASE - COMPLETE Scale 1:25



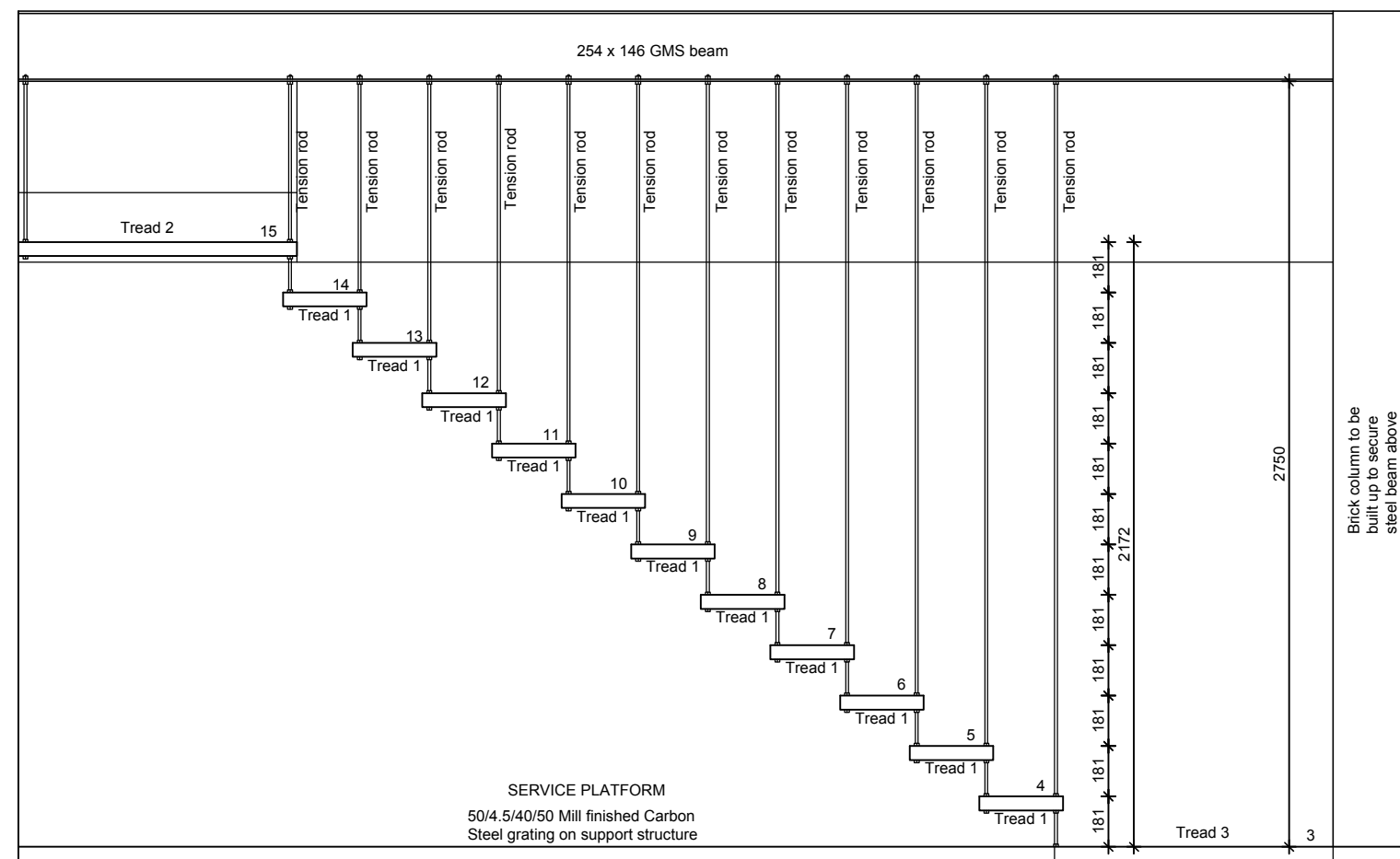
TREAD DETAILS

scale 1:5



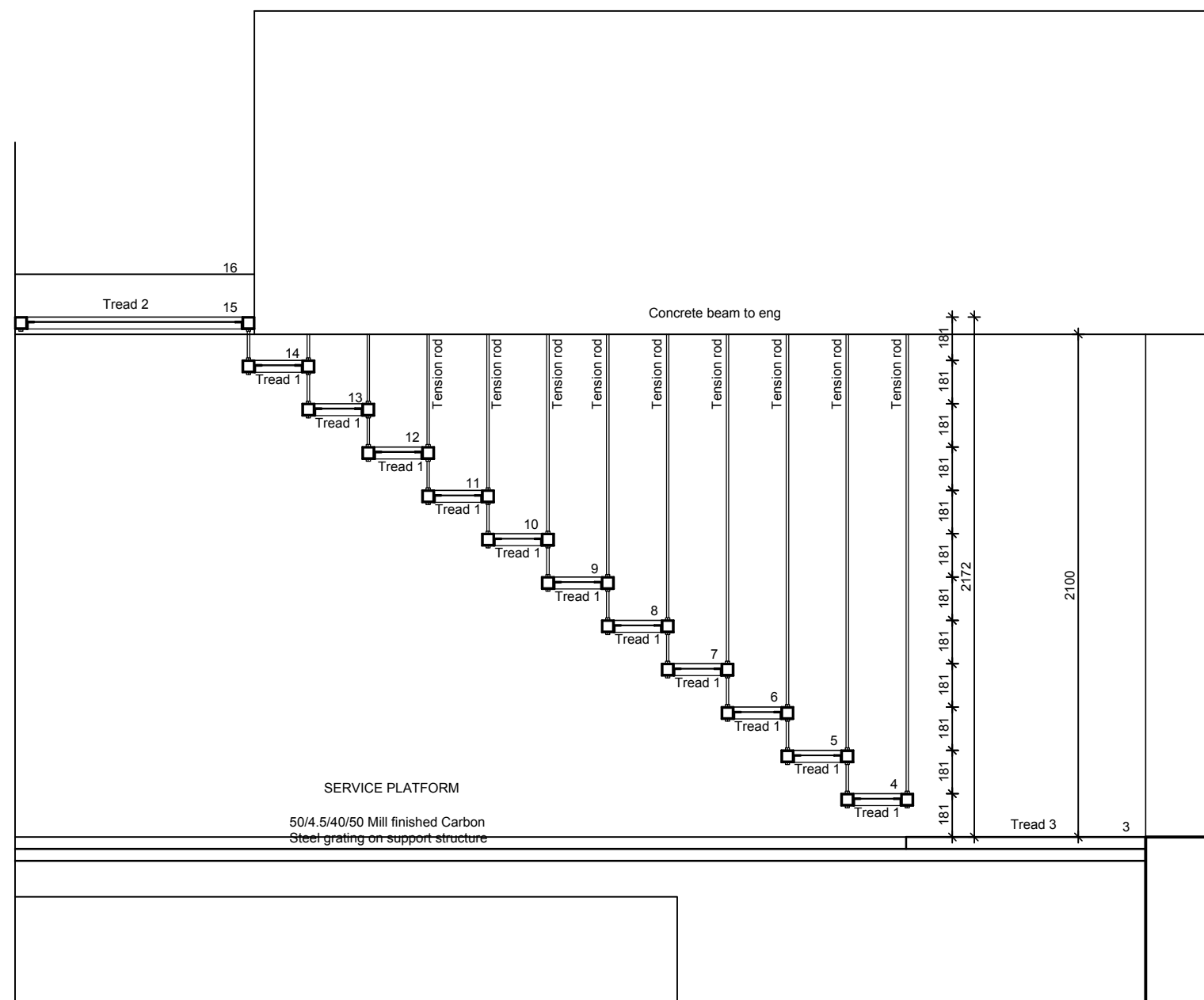
TREAD 1 - TYPICAL DETAILS

scale 1:5



SIDE ELEVATION

scale 1:25



SECTION A - A

scale 1:25

- GENERAL NOTES**
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 - Contractor and Engineer to verify all levels and dimensions on site and check same against architects drawings before commencing work.
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 - Large scale details to be used where available.

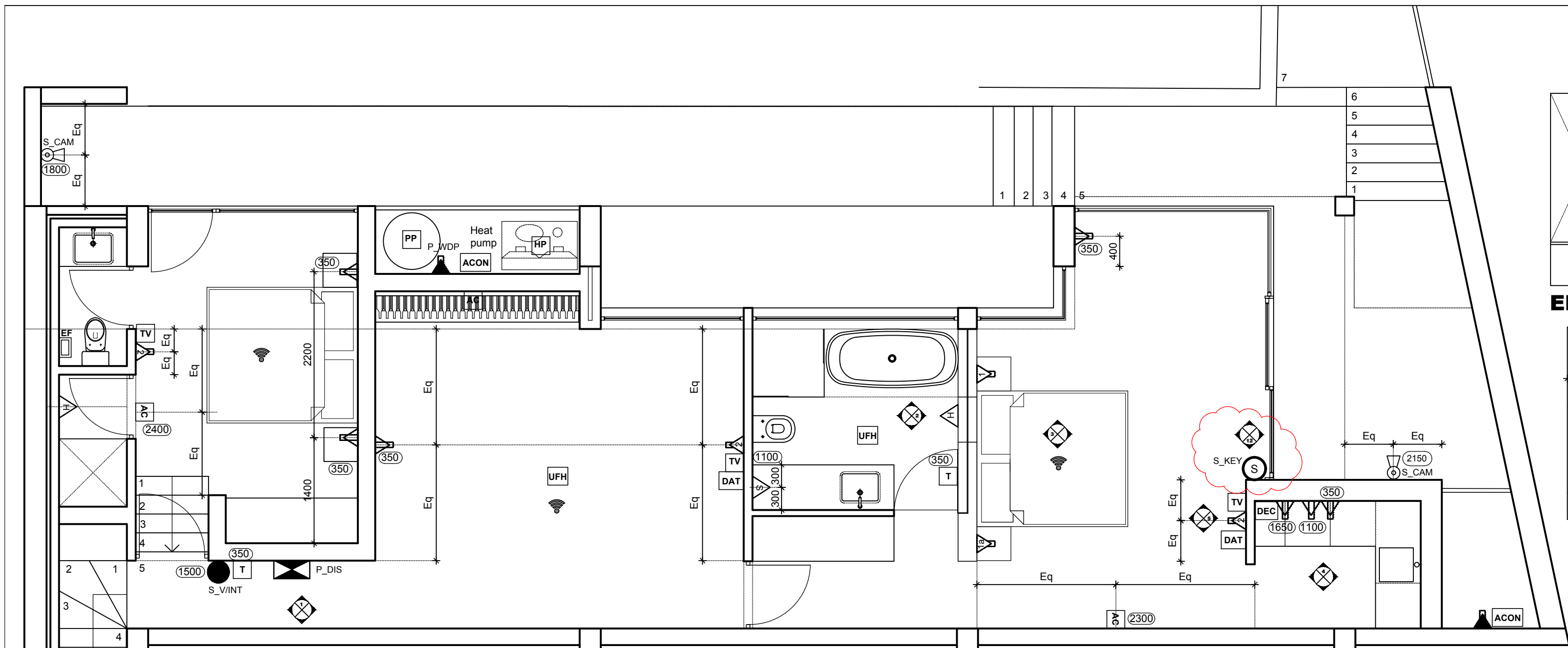
REVISIONS		
REV.	DESCRIPTION	DATE
A	UPDATED AS PER SITE	08.18.18

DRAWING STATUS		
FOR TENDER	DATE	SIGNATURE
FOR CLIENT APPROVAL	07.08.17	
FOR COUNCIL APPROVAL		
FOR CONSTRUCTION		
REGISTRATION NO:	7907	MICHAEL DENNETT

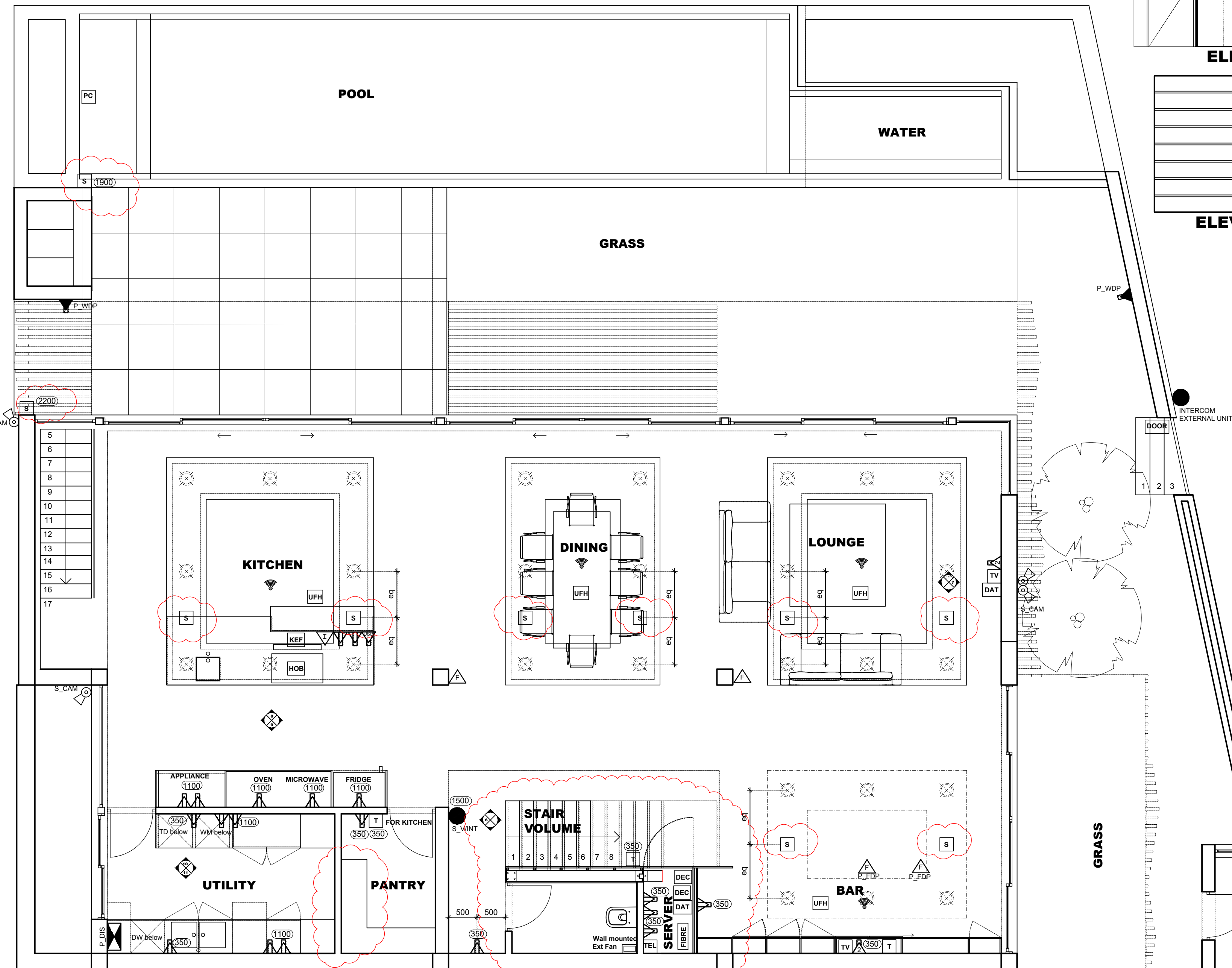
DV8 architects
Unit 8, The Stockyard, 3 Ravenscraig Rd, Woodstock, Cape Town
021 447 1803 086 694 7450
082 485 3077 info@dv8architects.com

PROPOSED NEW DWELLING ON ERF 2044, 38R OCEAN VIEW DRIVE, GREEN POINT CAPE TOWN

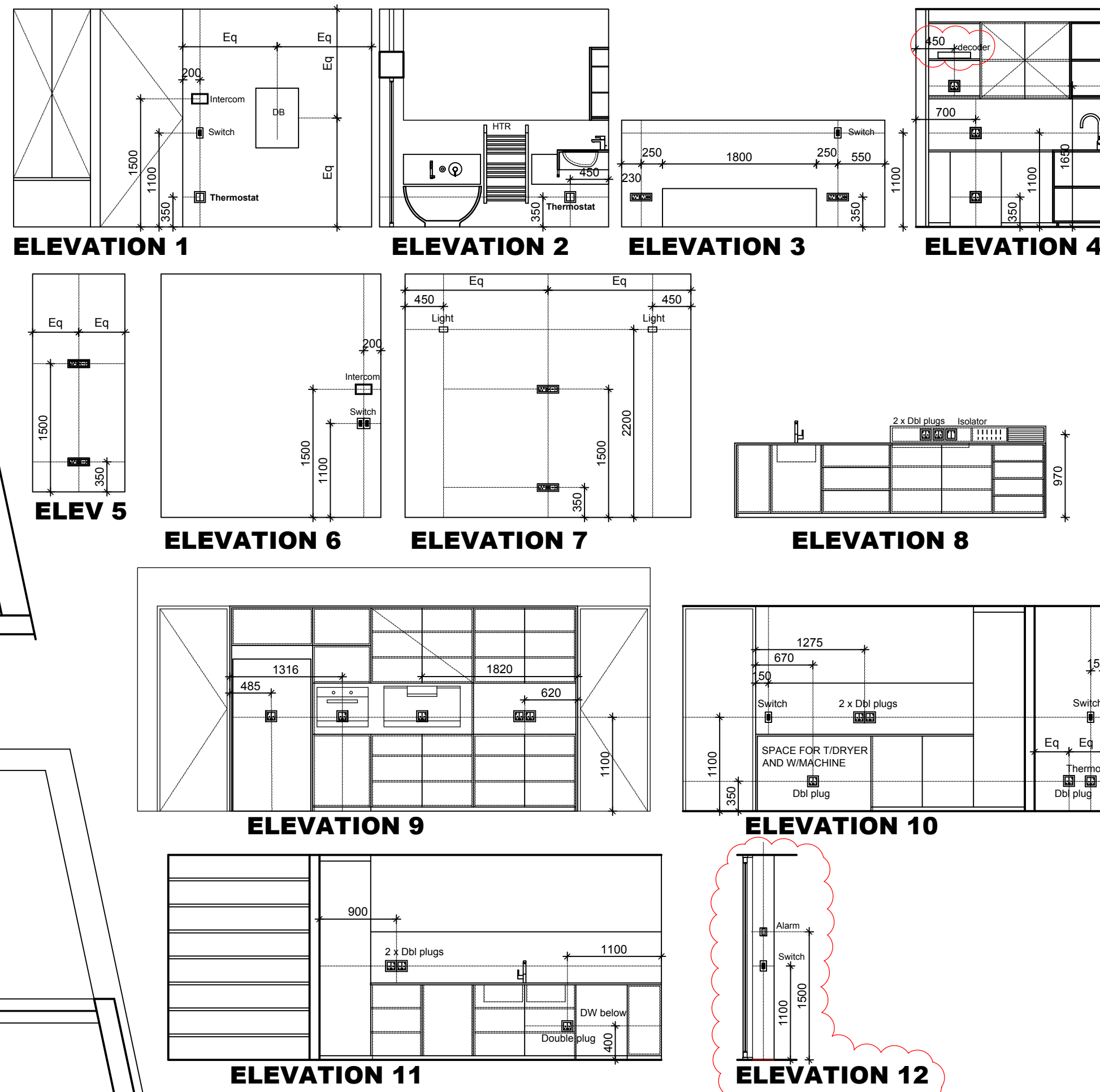
ENTRANCE STAIRCASE		
DRAWN	CHECKED	DATE
JK	MD	07 / 08 / 18
SCALE	REVISION	DRAWING NO.
1:25	A	D5.102



GROUND STOREY POWER Scale 1:50



FIRST STOREY POWER Scale 1:50



LEGEND

CAD SYMBOLS : ANCILLARY

SYMBOL	CODE	DESCRIPTION
TV	A_TV	TELEVISION OUTLET
G	A_GEY	GEYSER
EF	A_EXF	EXTRACTOR FAN
PP	A_POOL	POOL PUMP
T	A_TSO	THERMOSTAT
UFH	A_UFH	UNDERFLOOR HEATING
TEL	A_TEL	TELEPHONE OUTLET
S	A_S	SPEAKER OUTLET
AC	A_AC	AIRCON UNIT
ACON	A_CON	AIRCON CONDENSER UNIT
DAT	A_DAT	DATA
HP	A_HEAT	HEAT PUMP
DOOR	A_DOOR	ELECTRIC POINT FOR DOOR
DEC	A_DEC	DECODER
PC	A_POOL	POOL COVER MOTOR
KEF	A_KIT	KITCHEN EXTRACTOR TABLE TOP

CAD SYMBOLS: POWER

SYMBOL	CODE	DESCRIPTION
P_DPP	P_DPP	DOUBLE PLUG POINT
P_UNIT	P_UNIT	UNIT 1 AS PER DETAIL
P_UNIT	P_UNIT	UNIT 2 AS PER DETAIL
P_WDP	P_WDP	WATERPROOF DOUBLE PLUG POINT
P_ISO	P_ISO	ISOLATOR
P_FDP	P_FDP	FLOOR MOUNTED PLUG POINT
P_SHV	P_SHV	SHAVES PLUG POINT
P_DIS	P_DIS	DISTRIBUTION BOARD
P_MET	P_MET	METER COUNCIL BOARD
P_HADB	P_HADB	HOME AUTOMATION DISTRIBUTION BOARD
P_HTR	P_HTR	HEATED TOWEL RAIL
P_USB	P_USB	DOUBLE USB POWER POINT

CAD SYMBOLS : SECURITY

SYMBOL	CODE	DESCRIPTION
S_VINT	S_VINT	VIDEO INTERCOM
S_KEY	S_KEY	SECURITY KEYPAD
S_PAN	S_PAN	SECURITY PANIC BUTTON
S_CAM	S_CAM	CCTV CAMERA
S_BOA	S_BOA	ALARM BOARD
S_ANT	S_ANT	ALARM ANTENNAE

CAD SYMBOLS : FIBRE

SYMBOL	CODE	DESCRIPTION
A_WIFI	A_WIFI	WIFI ACCESS POINT
A_FIBRE	A_FIBRE	FIBRE RACK

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- Large scale details to be used where available.

REVISIONS

REV.	DESCRIPTION	DATE
A	UNDERFLOOR HEATING REMOVED IN DOMESTIC BEDROOM EXTRACTOR FAN REMOVED FROM GUEST BATHROOM	23.08.17
A	NEW INTERNAL STAIRS TO DOMESTIC PANTRY TO UTILITY SPACE	23.01.18
C	REVISED AS PER NEW LAYOUT	24.05.18
D	DOMESTIC BEDROOM NEW TV POINT AND WIFI POINT NEW HEATED TOWEL RAIL GUEST BEDROOM WIFI POINT AND DATA AT TV KITCHEN USB POINT IN KITCHEN	01.08.18
E	NEW KEYPAD TO GROUND STOREY	23.08.18
F	NEW DECODER TO KITCHENETTE ALARM AND SWITCH IN GUEST BATH NEW SPEAKERS TO FIRST STOREY REVISED SERVER POSITION	11.09.18

DRAWING STATUS

	DATE
FOR CONSTRUCTION	30.10.17

DV8 architects

The Stockyard, Unit 8, 3 Ravenscraig Rd, Woodstock, Cape Town
021 447 1803 086 694 7450
082 485 3077 info@dv8architects.com

PROPOSED NEW DWELLING ON ERF 2044,
38R OCEAN VIEW DRIVE, GREEN POINT
CAPE TOWN

GROUND AND FIRST POWER

DRAWN	CHECKED	DATE
JK	Michael Dennett	11.09.18
SCALE	REVISION	DRAWING NO.
1:50	F	D6.200

LEGEND

CAD SYMBOLS : ANCILLARY

SYMBOL	CODE	DESCRIPTION
	A_TV	TELEVISION OUTLET
	A_GEY	GEYSER
	A_EXF	EXTRACTOR FAN
	A_POOL	POOL PUMP
	A_TSO	THERMOSTAT
	A_UFH	UNDERFLOOR HEATING
	A_TEL	TELEPHONE OUTLET
	A_S	SPEAKER OUTLET
	A_AC	AIRCON UNIT
	A_CON	AIRCON CONDENSER UNIT
	A_DAT	DATA
	A_HEAT	HEAT PUMP
	A_DOOR	ELECTRIC POINT FOR DOOR
	A_KIT	KITCHEN EXTRACTOR TABLE TOP
	A_DEC	DECODER
	A_GATE	GATE MOTOR

CAD SYMBOLS: POWER

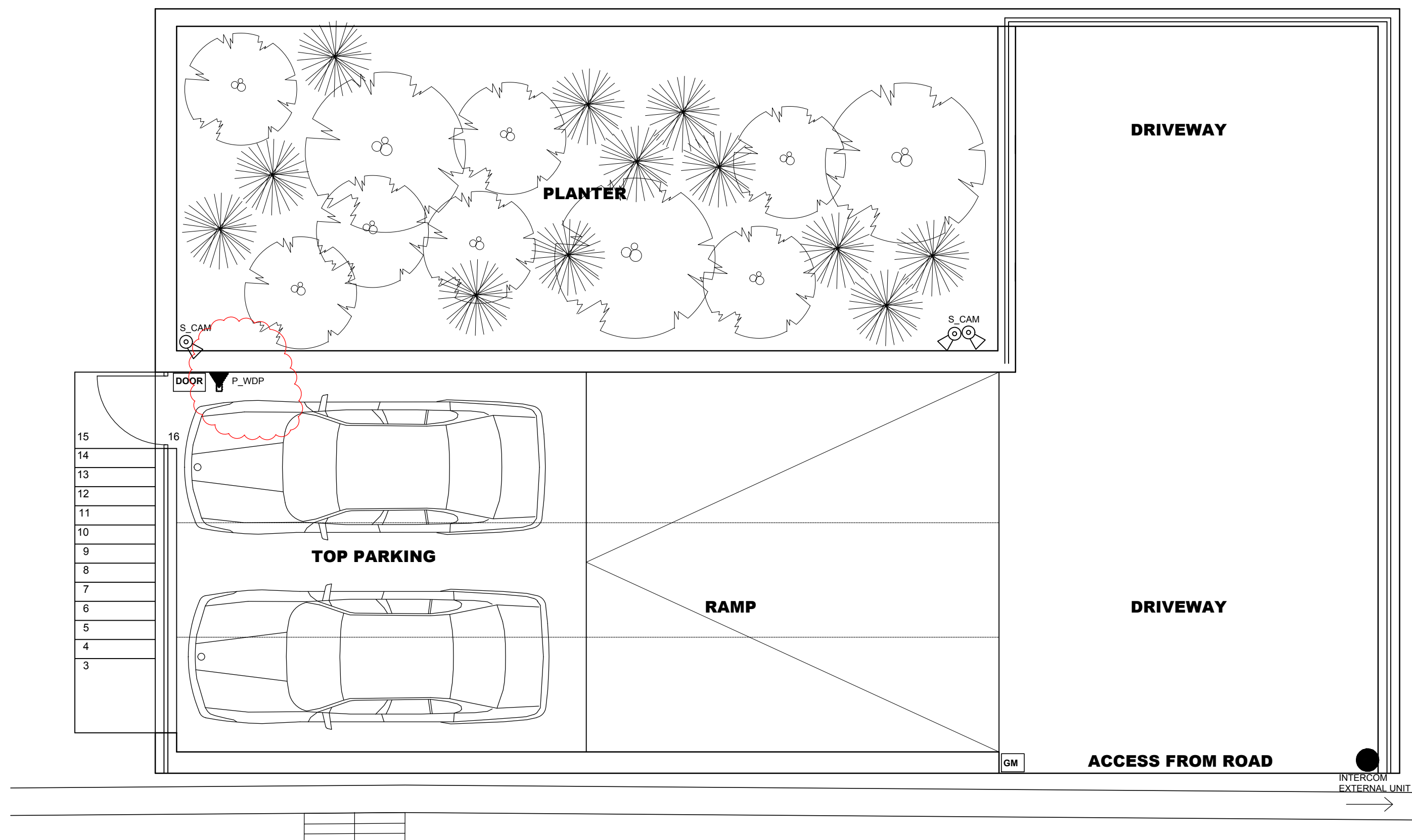
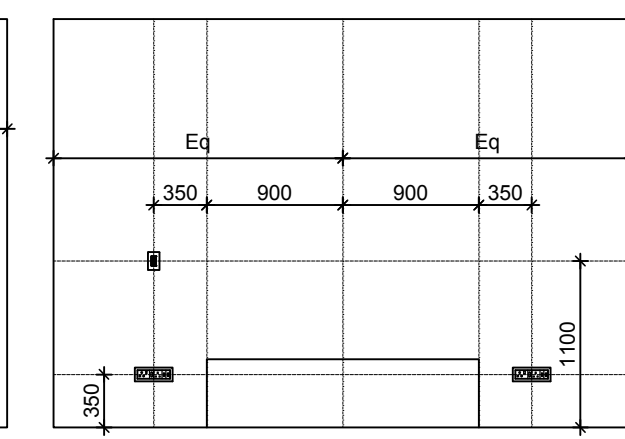
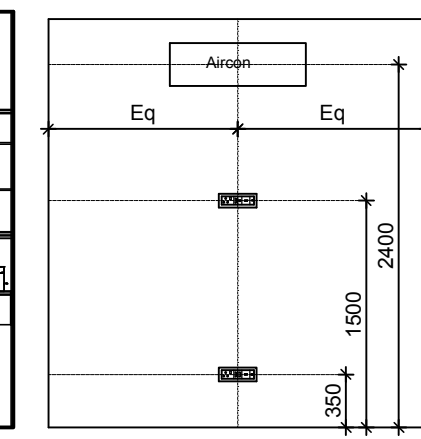
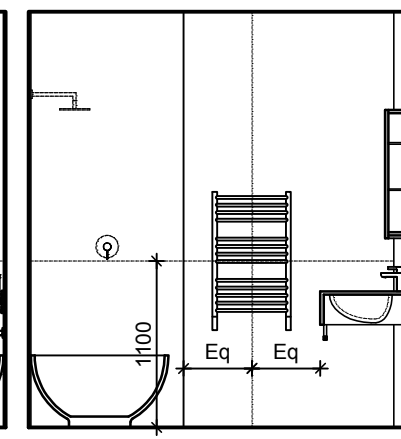
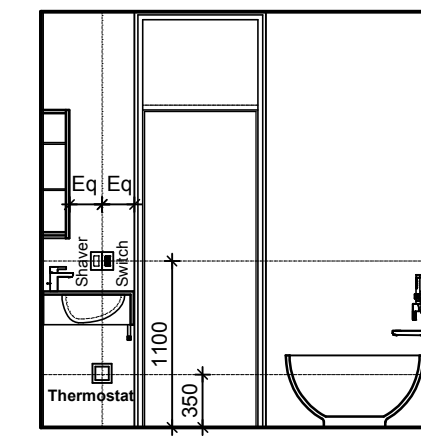
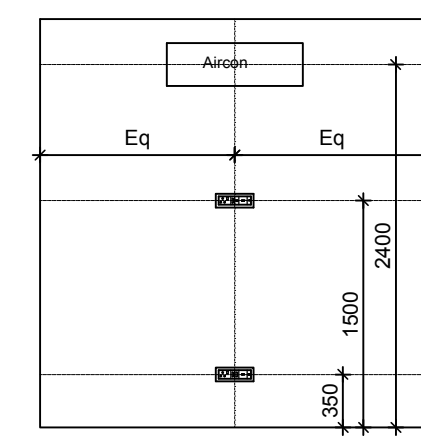
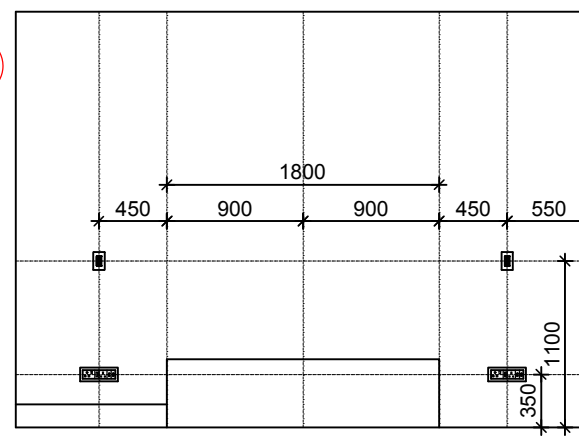
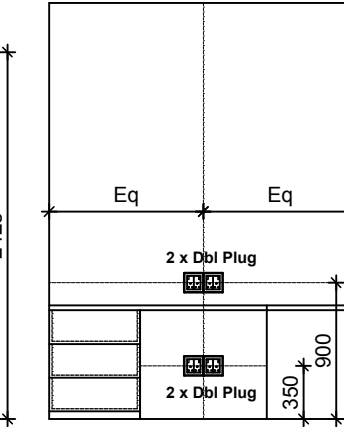
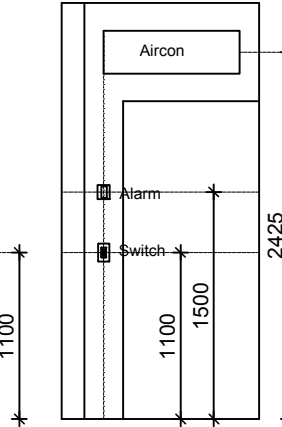
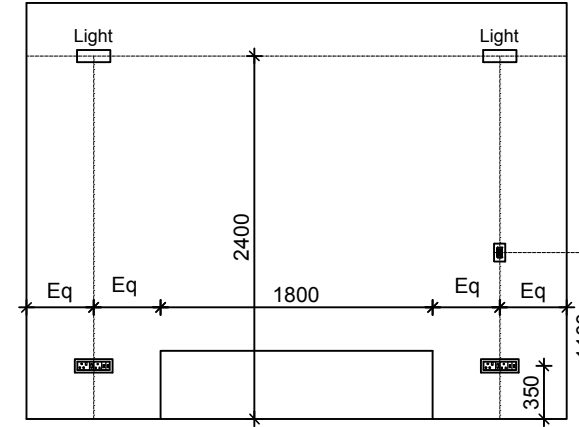
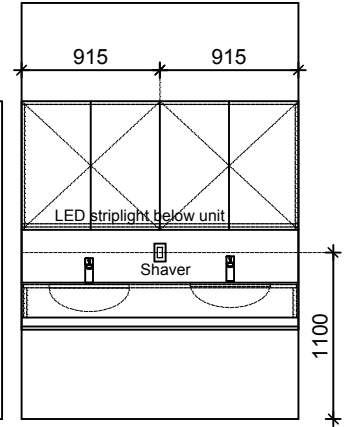
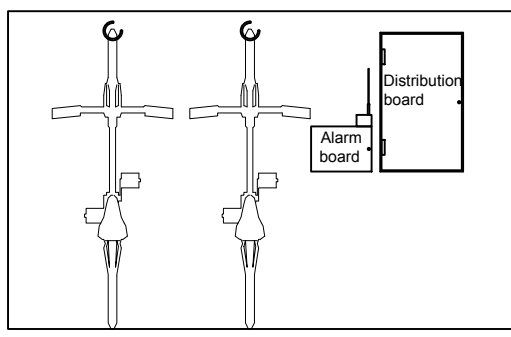
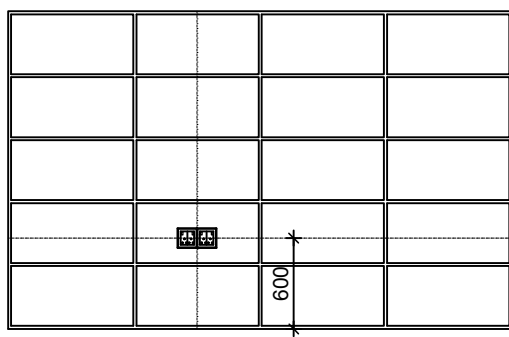
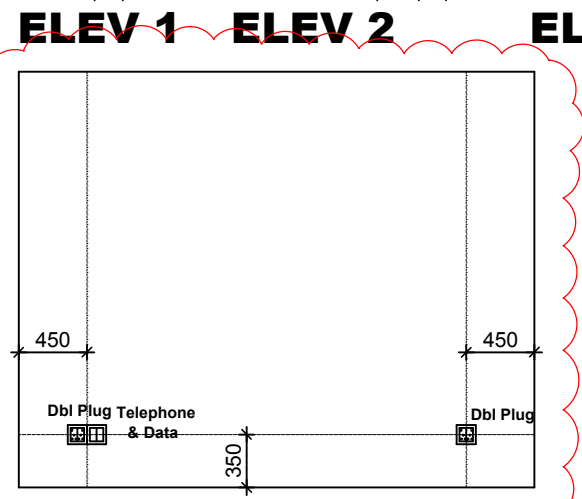
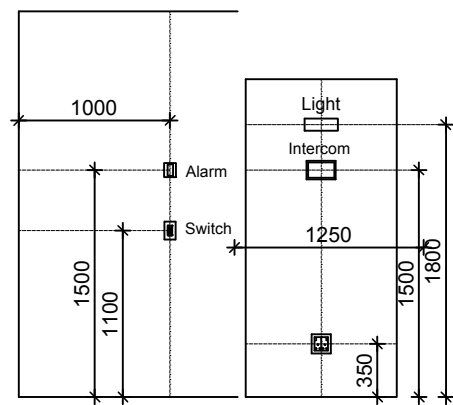
SYMBOL	CODE	DESCRIPTION
	P_DPP	DOUBLE PLUG POINT
	P_UNIT	UNIT 1 AS PER DETAIL
	P_UNIT	UNIT 2 AS PER DETAIL
	P_UNIT	UNIT 3 AS PER DETAIL
	P_WDP	WATERPROOF DOUBLE PLUG POINT
	P_ISO	ISOLATOR
	P_FDP	FLOOR MOUNTED PLUG POINT
	P_SHV	SHAVR PLUG POINT
	P_DIS	DISTRIBUTION BOARD
	P_MET	METER COUNCIL BOARD
	P_HTR	HEIGHT - MEASURED FROM FFL TO THE CENTRE LINE OF THE OUTLET
	P_HTR	HEATED TOWEL RAIL
	P_USB	DOUBLE USB POWER POINT

CAD SYMBOLS : SECURITY

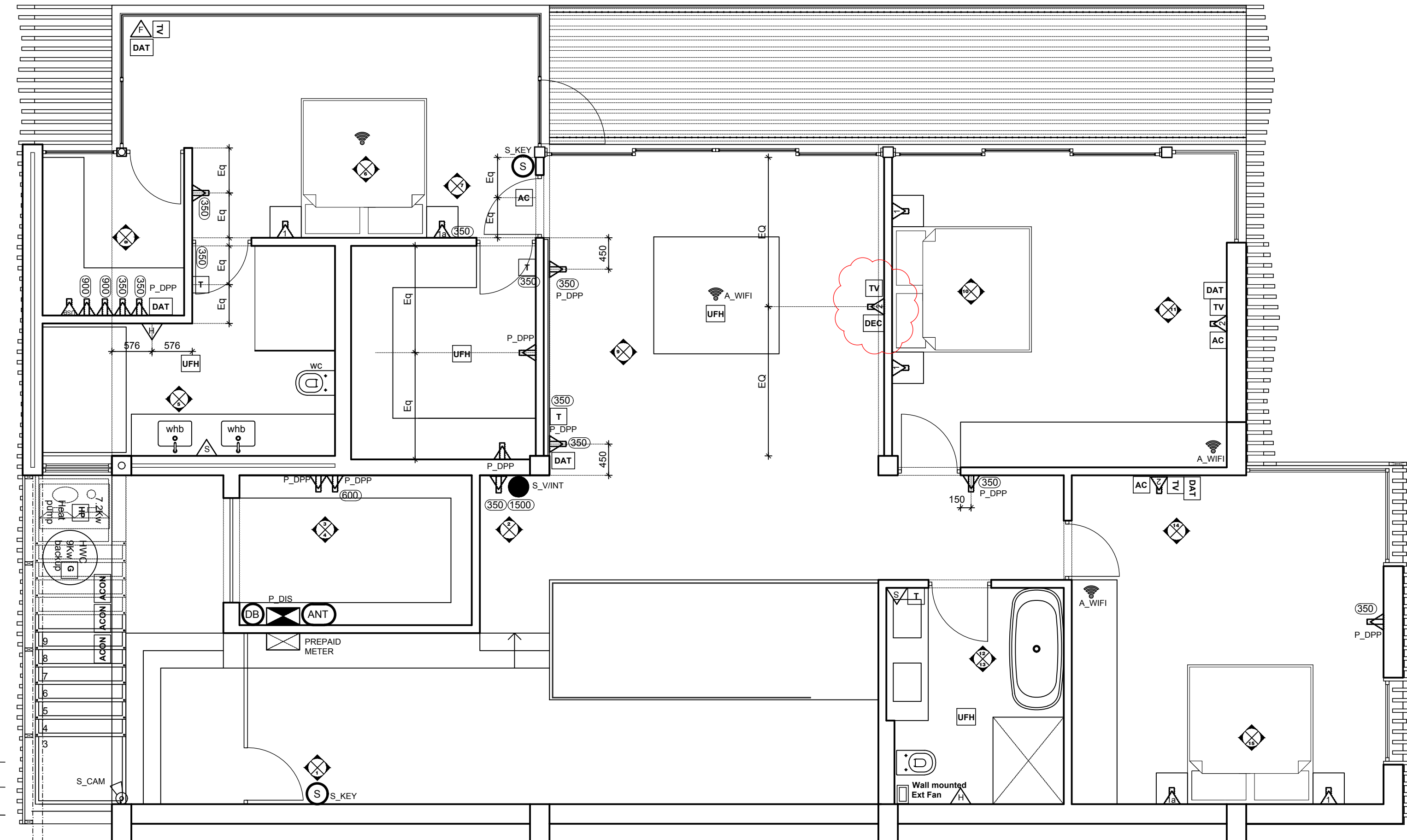
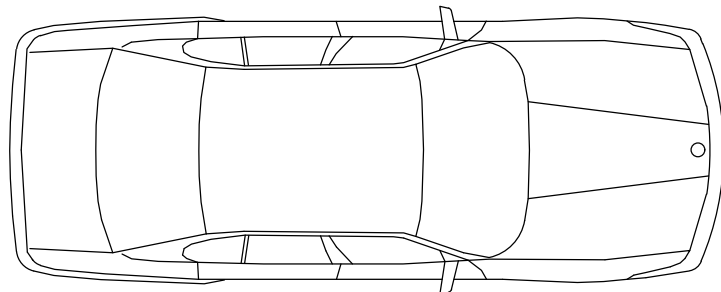
SYMBOL	CODE	DESCRIPTION
	S_VINT	VIDEO INTERCOM
	S_KEY	SECURITY KEYPAD
	S_PAN	SECURITY PANIC BUTTON
	S_CAM	CCTV CAMERA
	S_BOA	ALARM BOARD
	S_ANT	ALARM ANTENNAE

CAD SYMBOLS : FIBRE

SYMBOL	CODE	DESCRIPTION
	A_WIFI	WIFI ACCESS POINT
	A_FIBRE	FIBRE RACK



ROOF POWER Scale 1:50



SECOND STOREY POWER Scale 1:50

REVISIONS		
REV.	DESCRIPTION	DATE
A	DB INDICATED	23.08.17
B	NEW STUDY ADDED, REVISION TO DRESSING AND MES	23.01.18
C	WATERPROOF PLUG ON ROOF USB PLUG IN STUDY NEW PLUG IN BEDROOM 3 TV POSITION IN FAMILY ROOM AND PLUGS MIRRORED	01.08.18
DRAWING STATUS		
FOR TENDER		DATE
FOR CONSTRUCTION		30.10.17

- ### GENERAL NOTES
- The design of this drawing is copyright and remains the property of the architect.
 - All relevant details, levels, dimensions, setting out positions are to be checked prior to any work commencing and any discrepancies are to be brought to the architects attention.
 - The architect accepts no responsibility for errors resulting from misinterpretation of the drawings.
 - All dimensions are given in millimetres
 - Drawings are to read in conjunction with engineers drawings
 - Contractor to keep full set of drawings on site
 - Contractor is responsible for the correct setting out of the building on site with particular reference to boundaries and building lines
 - Contractor and Engineer to verify all levels and dimensions on site and check same against architects drawings before commencing work
 - Figured dimensions to be used in preference to scaled dimensions
 - Large scale details to be used where available

DV8 architects		
The Stockyard, Unit 8, 3 Ravenscraig Rd, Woodstock, Cape Town 021 447 1803 086 694 7450 082 485 3077 info@dv8architects.com		
PROPOSED NEW DWELLING ON ERF 2044, 38R OCEAN VIEW DRIVE, GREEN POINT CAPE TOWN		
SECOND STOREY & ROOF POWER		
DRAWN	CHECKED	DATE
JK	Michael Dennett	01.08.18
SCALE	REVISION	DRAWING NO.
1:50	C	D6.201